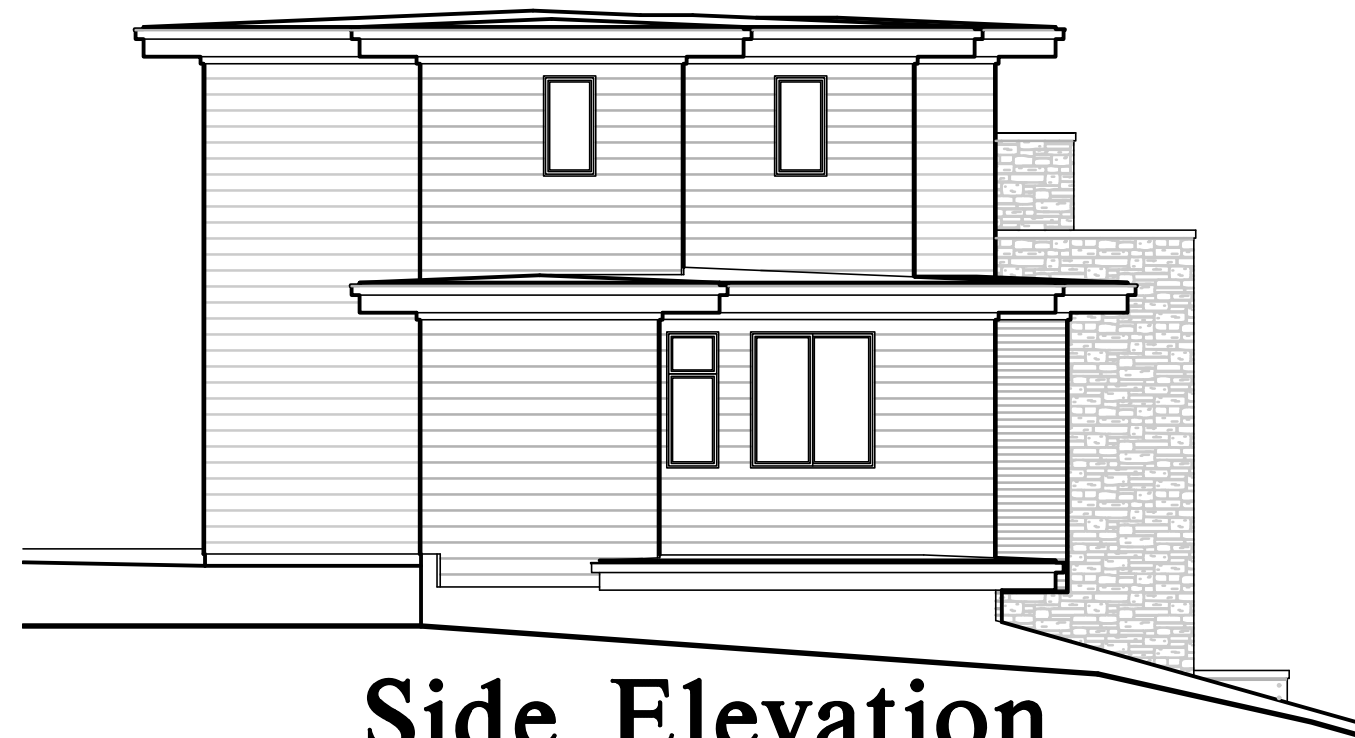


Rear Elevation



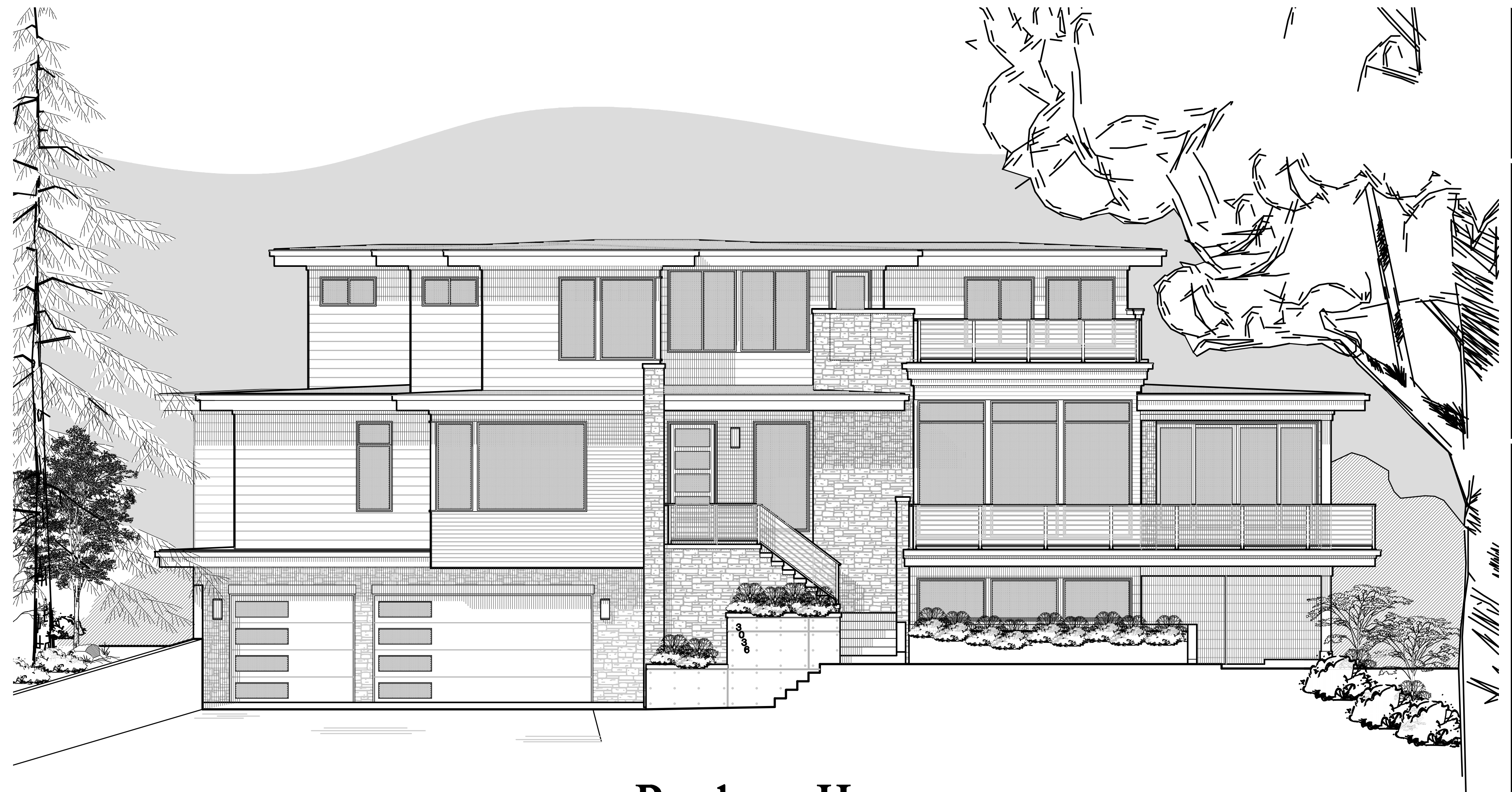
Side Elevation



Side Elevation

DRAWING INDEX

- A1. CODE NOTES
- A1.1. SITE PLAN & TREE RETENTION PLAN
- CV-01 COVER SHEET
- TP-01 TESC, DRAINAGE & TREE RETENTION
- TP-02 TESC NOTES & DETAILS
- TR-01 TREE RETENTION PLAN
- SP-01 SITE PLAN
- TG-01 TEMPORARY GRADING PLAN
- DT-01 SITE DETAILS SURVEY
- A2. LOWER FLOOR PLAN
- A3. MAIN FLOOR PLAN
- A4. UPPER FLOOR PLAN
- A5. ROOF PLAN
- A6. ELEVATIONS
- A7. ELEVATIONS/ENERGY
- A8. SECTIONS
- D1. DETAILS
- S-0.0 STRUCTURAL NOTES
- S-0.1 PIN PILE PLAN
- S-1.0 FOUNDATION PLAN
- S-1.1 MAIN FLOOR FRAMING
- S-2.0 UPPER FLOOR FRAMING
- S-3.0 ROOF FRAMING
- SD-1 FOUNDATION DETAILS
- SD-2 STRUCTURAL DETAILS
- SD-3 STRUCTURAL DETAILS
- SD-4 STRUCTURAL DETAILS



Buchan Homes
Westview Plan

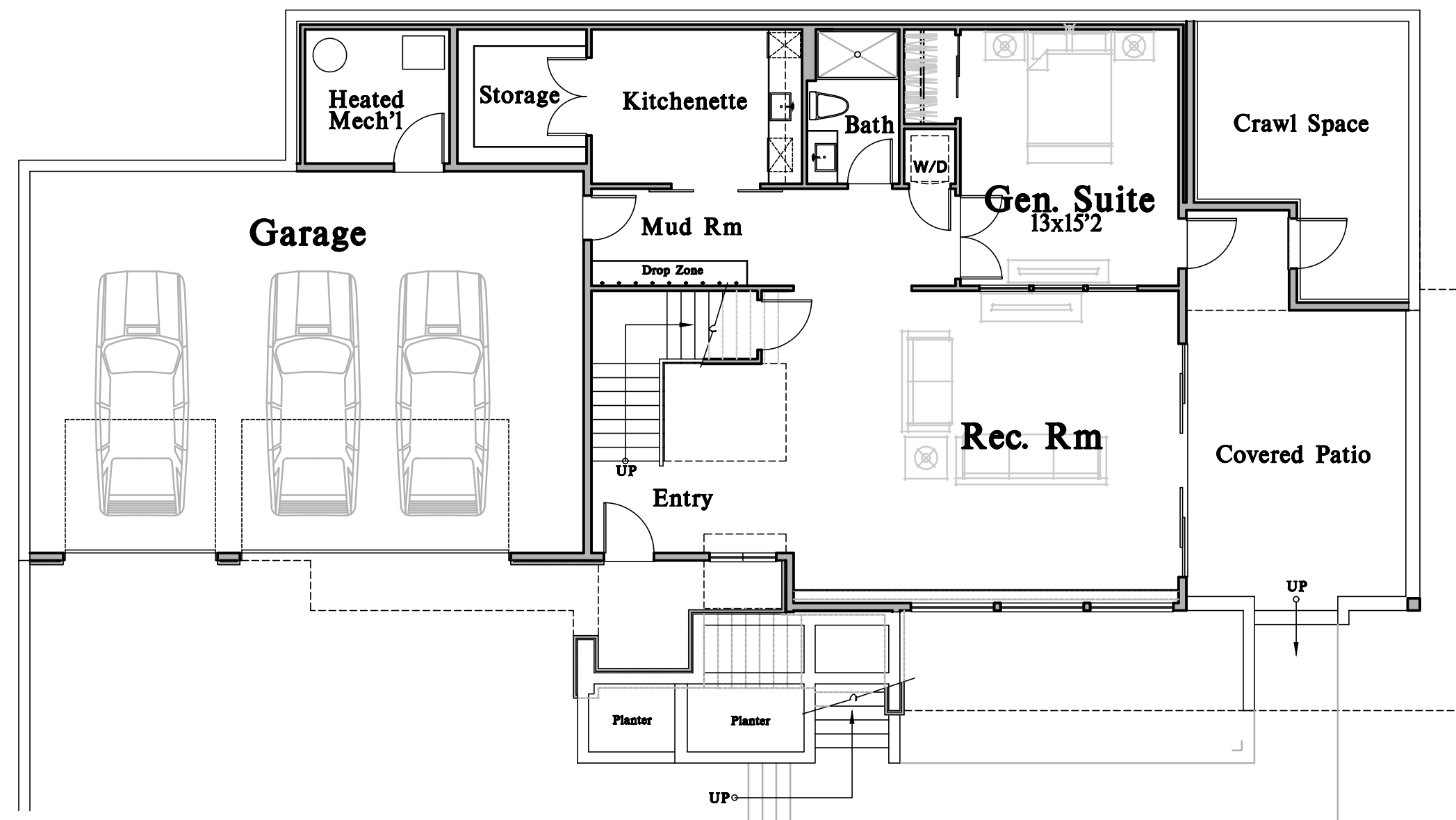
Permit no. 2210-120

3036 67th Ave SE Mercer Island, WA

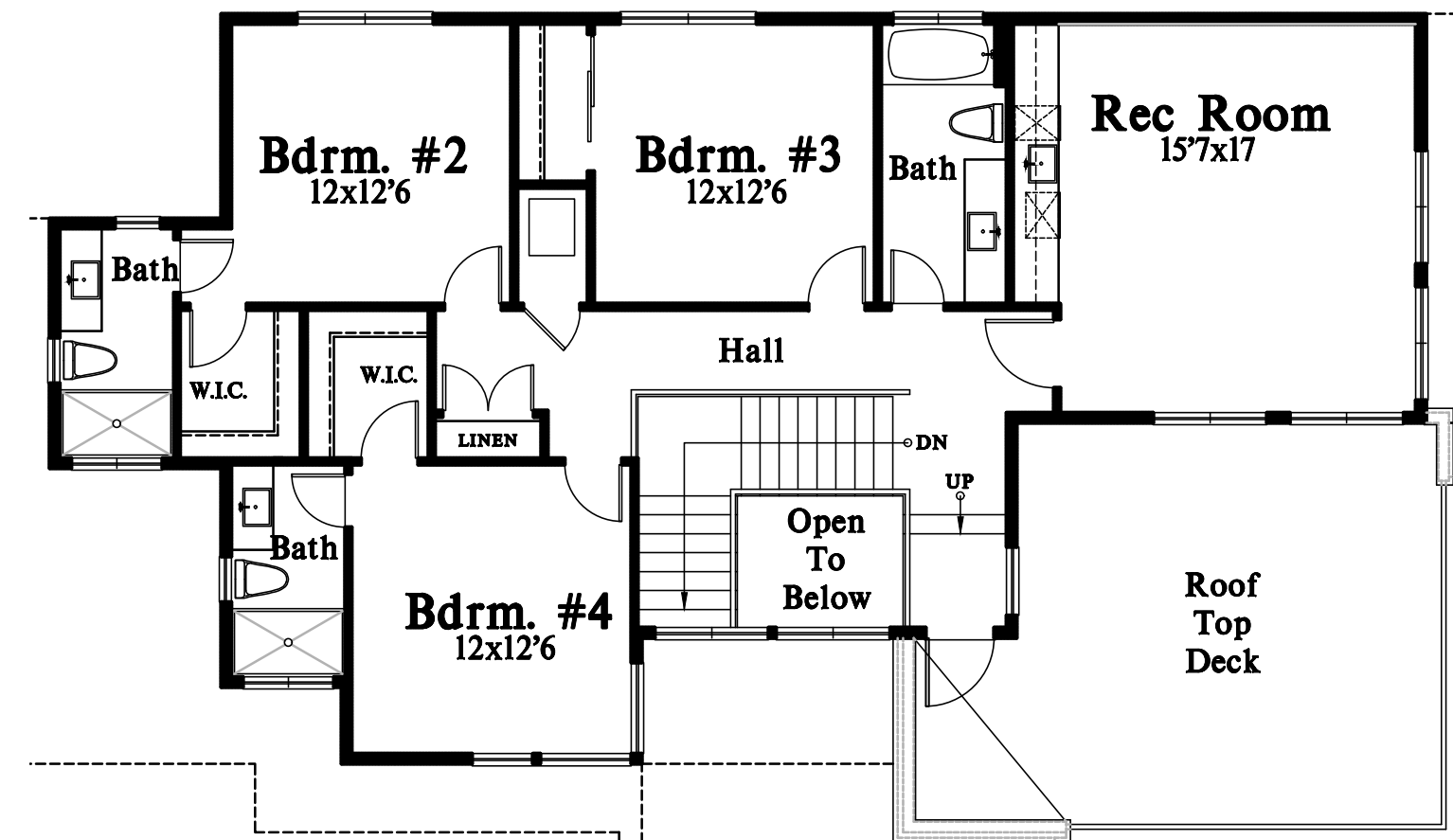
NFPA 13D FIRE SPRINKLER SYSTEM TO BE INSTALLED
NFPA "CHAPTER 29" FIRE ALARM SYSTEM REQUIRED

SQUARE FOOTAGE

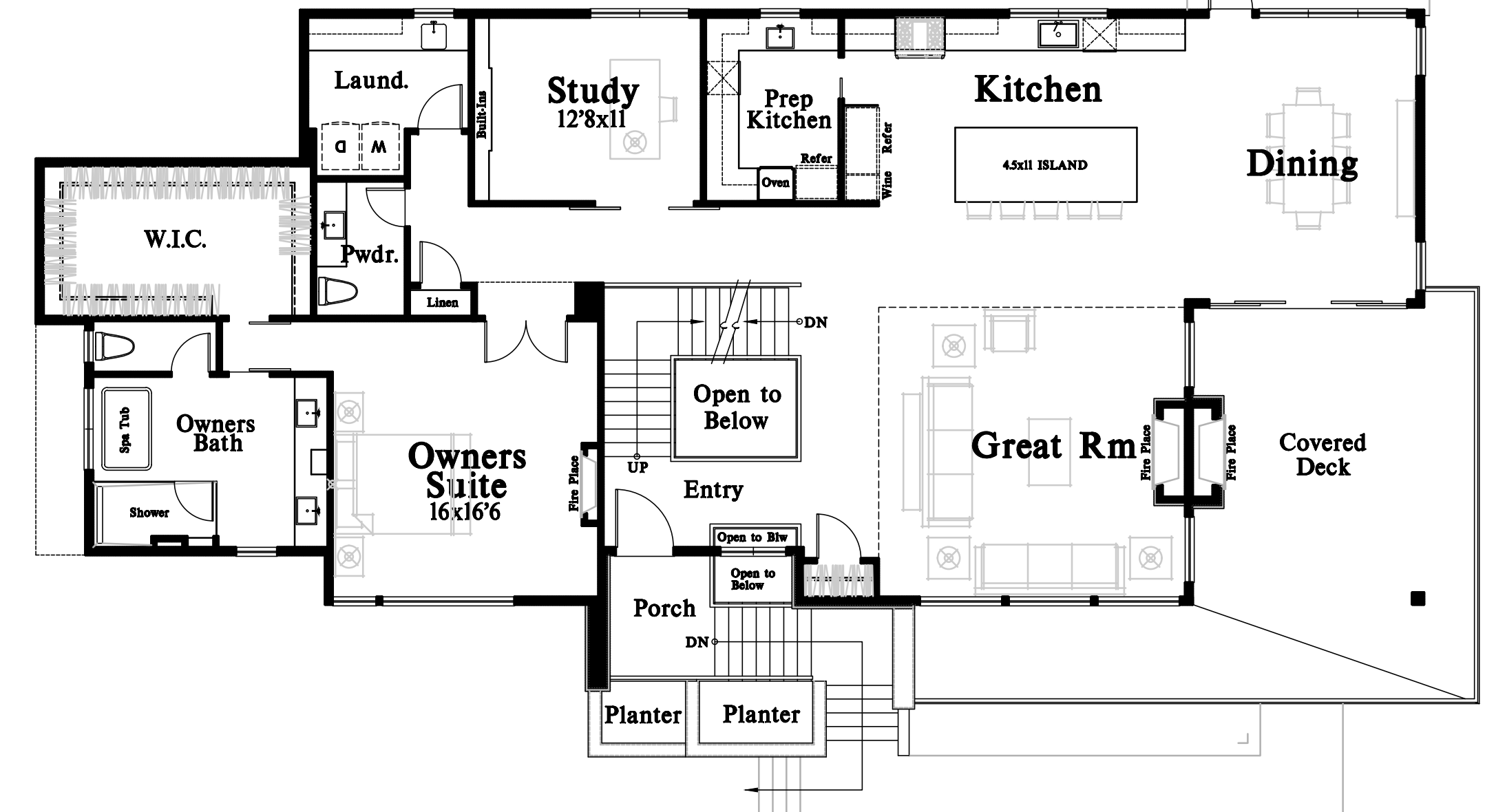
MAIN FLOOR	2447 SF
UPPER FLOOR	1327 SF
LOWER	1312 SF
TOTAL	5086 SF
GARAGE	897 SF
PORCH/DECK	1409 SF



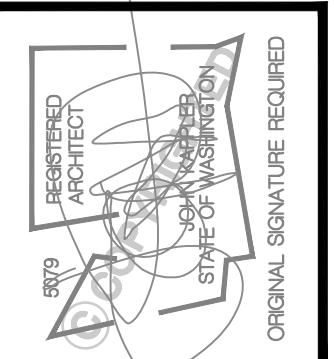
Lower Floor Plan



Upper Floor Plan



Main Floor Plan



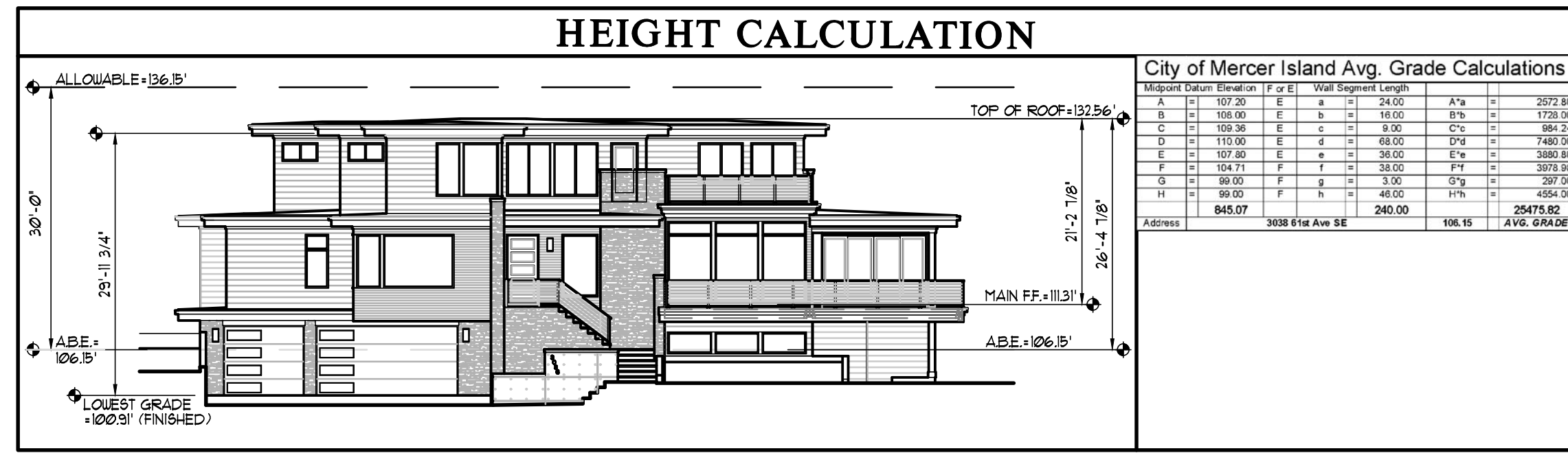
Date	By	Description
10/22/22	REY	PERMIT SET
8/1/23	REY	JURISDICTIONAL COMMENTS
8/25/23	REY	JURISDICTIONAL COMMENTS
10/5/23	REY	JURISDICTIONAL COMMENTS-CLOUDED

Buchan Homes
Westview Plan
Permit no. 2210-120
Mercer Island, WA
3036 67th Ave SE
THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
Forward Thinking Design Solutions For Your Environment
14311 SE 16th St
Bellevue, WA 98007
1-800-888-4517
www.kapichangeplans.com

TITLE
JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET
COVER SHEET



TREE IDENTIFICATION

TAG	TREE/SPECIES	SIZE (DBH)	RETAINED
1	CEDRUS DOBODORA, DRODAR CEDAR	35.4	NO
2	PSEUDOTSUGA MENZIESII, DOUGLAS FIR	29"	YES
3	PSEUDOTSUGA MENZIESII, DOUGLAS FIR	35"	YES
4	APPLE SPECIES	9.2"	NO
5	APPLE SPECIES	12.9"	NO
6	PRUNUS, CHERRY	6.4"	NO
7	PRUNUS, PLUM	10.5"	NO
O.S.T.	CEDRUS ATLANTICA, ATLAS CEDAR	est. 30"	YES

TOTAL DBH = 138.4"

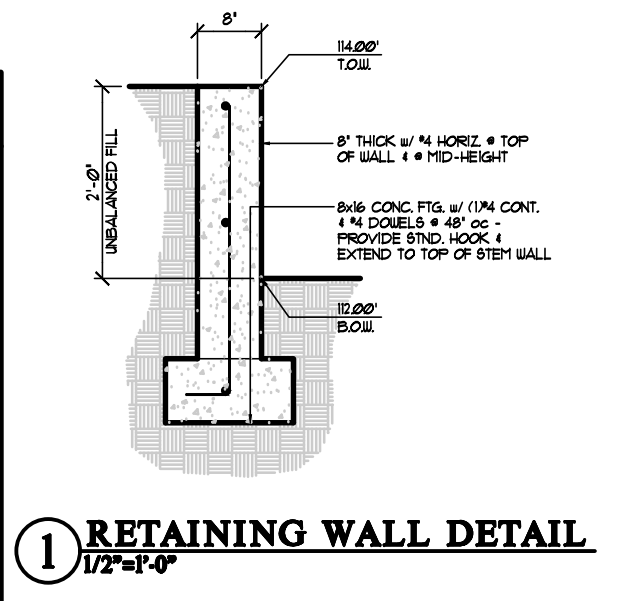
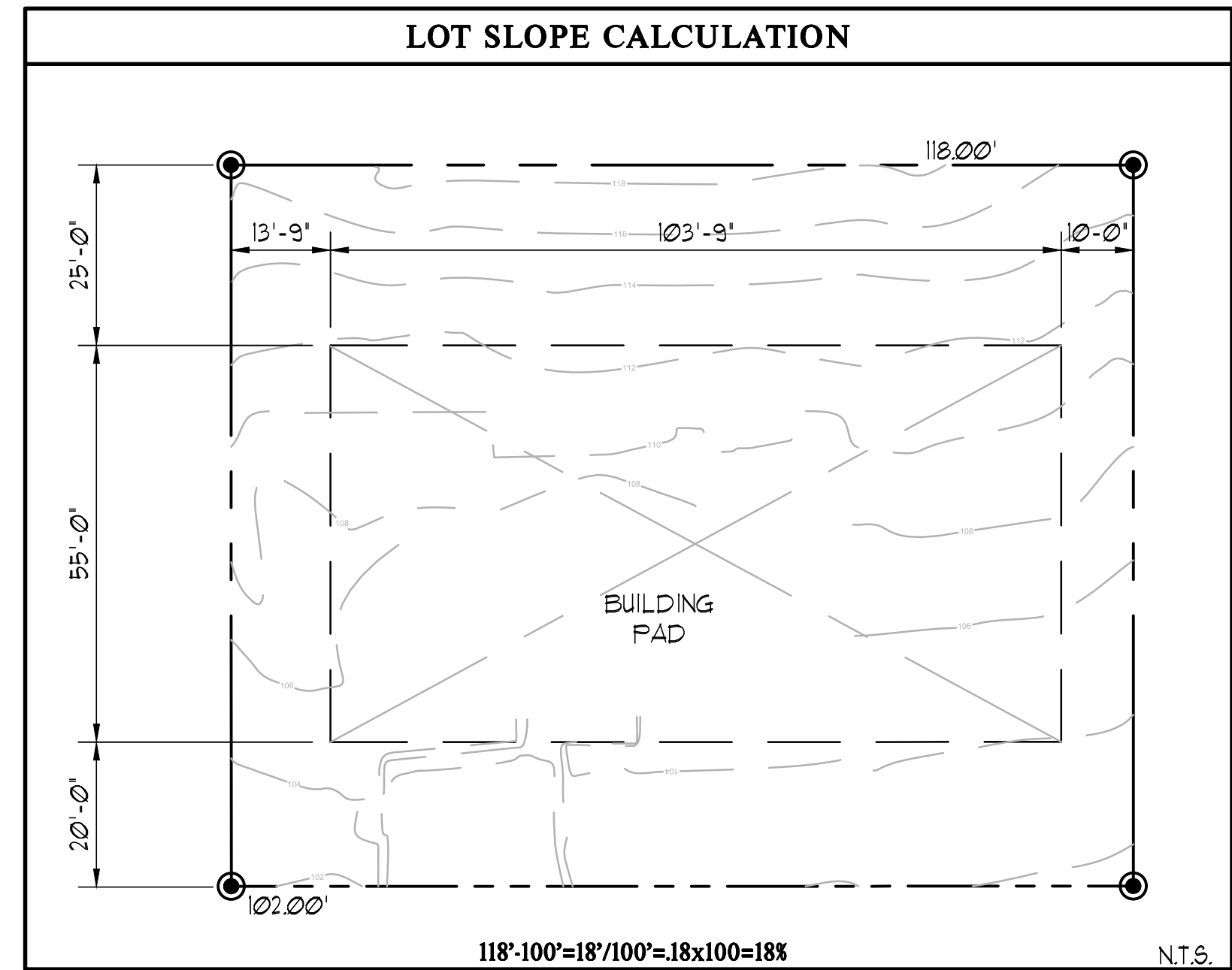
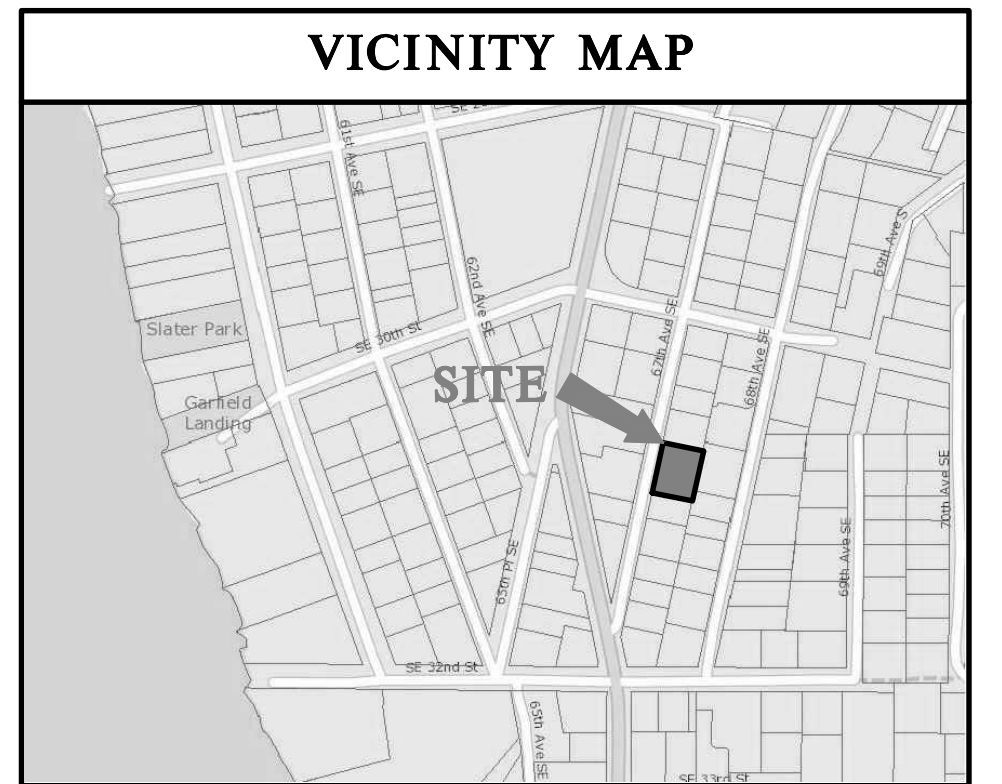
TOTAL RETAINED = 100.4"/46%

NOTE: DBH DOES NOT INCLUDE OFF SITE TREE

REPLACEMENT TREE IDENT.

TAG	TREE/SPECIES	NATIVE
R.1	JAPANESE MAPLE	
R.2	THUJA PLICATA	YES
R.3	VINE MAPLE	YES
R.4	THUJA PLICATA	YES
R.5	THUJA PLICATA	YES
R.6	THUJA PLICATA	YES
R.7	THUJA PLICATA	YES
R.8	DOGWOOD	
R.9	RED MAPLE	

6/9 NATIVE : 66% NATIVE



City of Mercer Island GFA Calculations

Wall Length	Percentage	Fins of Existing	Result
A	24	77.0%	E/F 18.5
B	16	96.0%	F 15.4
C	9	100.0%	F 9.0
D	54	100.0%	E 54.0
E	36	26.0%	F 9.4
F	24	59.0%	E/F 14.2
G	3	0.0%	E/F 0.0
H	46	0.0%	F 0.0

212 Total Area = 120.6

Total Average Result = 0.6

Fir	Sq Ft	Result	Excluded Area
	2443	0.5683962	1388.591981

SITE INFO

STREET ADDRESSES:
3036 67th AVE SE

PARCEL #:
2174501025

LEGAL DESCRIPTION:
EAST SEATTLE ADD LOTS 15 THRU 18 TGV SLY 5 FT OF LOT 19

PLAT BLOCK: 6
PLAT LOT: 15 THRU 19

ZONING

ZONING: R-84
SINGLE FAMILY RESIDENTIAL SETBACKS
FRONT YARD - 20'-0"
REAR YARD - 25'
TOTAL SIDE YARD(S) - 17% OF 120'-0" = 20.4' COMBINED
INTERIOR SIDE YARD - 33% OF 20.4" = 6.73' MIN.

HEIGHT LIMIT
30' ABOVE AVERAGE BUILDING ELEVATION
35' DOWNHILL HIGHEST PLATE FROM EXISTING GRADE

LOT COVERAGE
33% MAX OF GROSS LOT AREA
G.F.A.
40% MAX. OF NET LOT AREA

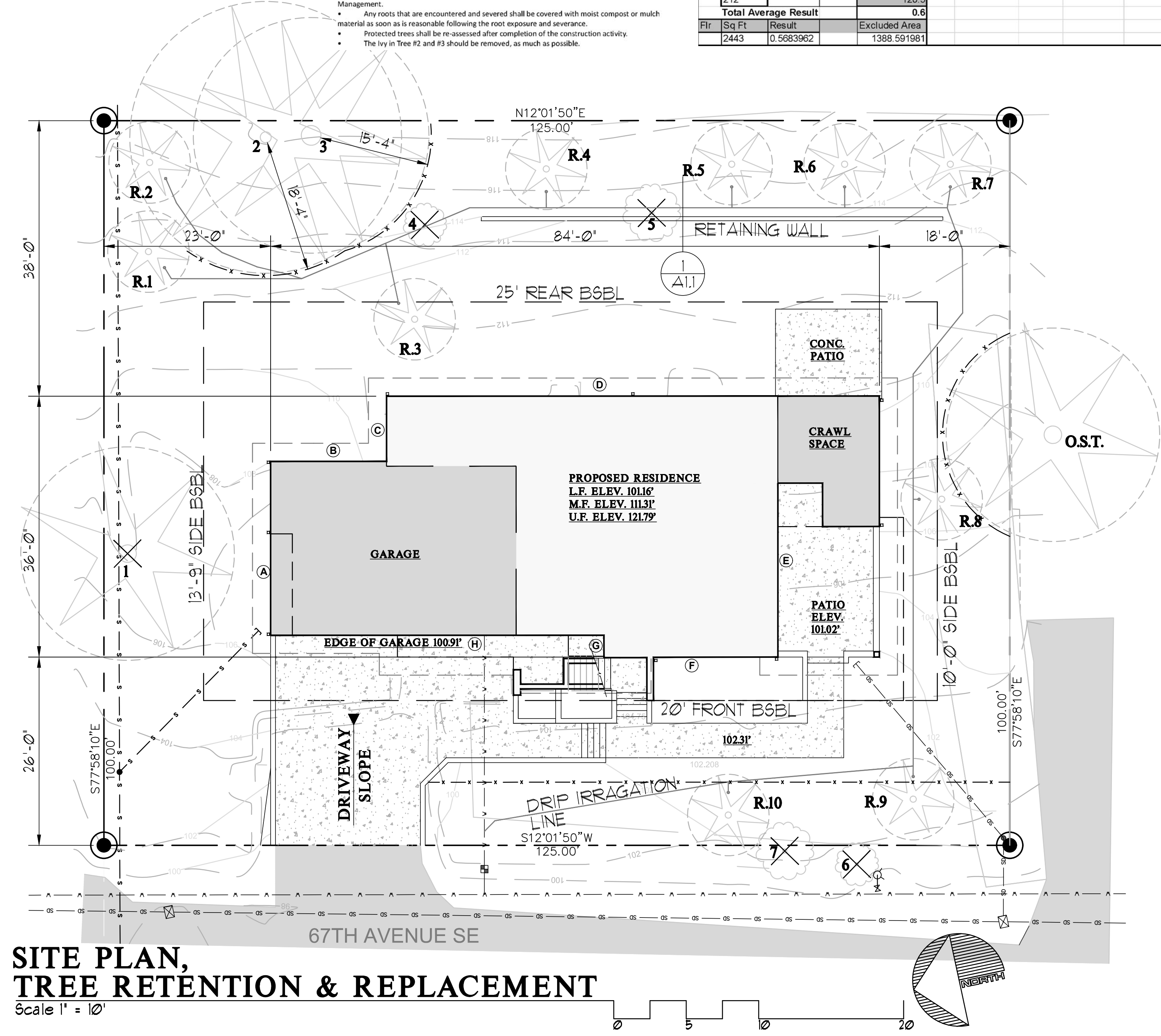
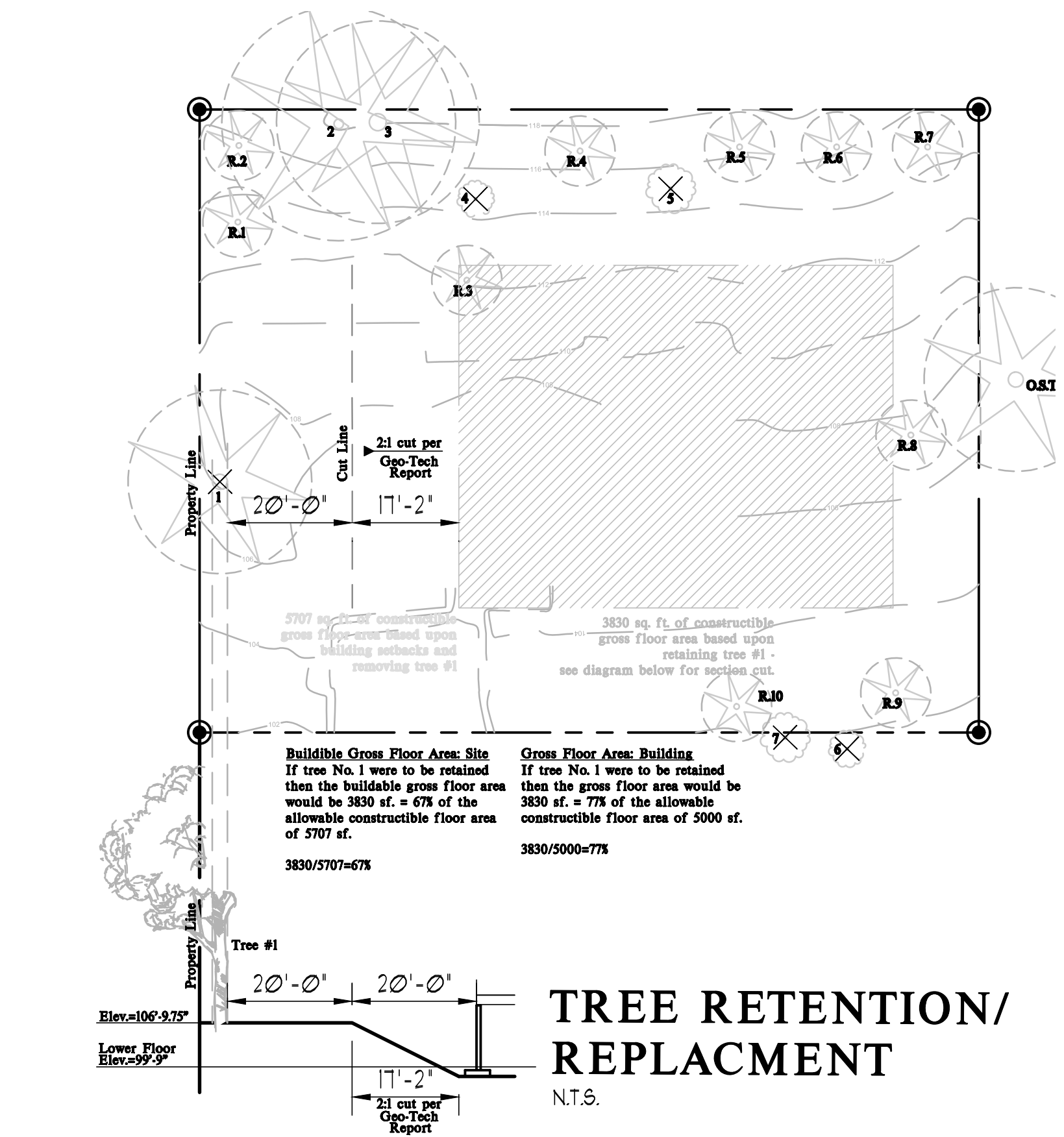
SITE CALCULATIONS

LOT AREA	GROSS LOT AREA
12,500 SF	
x 40%	5,000 SF ALLOWABLE G.F.A.

G.F.A. CALCULATION	GROSS LOT AREA
12,500 SF	
x 40%	5,000 SF ALLOWABLE G.F.A.

LOT COVERAGE CALCULATION	GROSS LOT AREA
12,500 SF	
x 33%	4,125 SF ALLOWABLE LOT COVERAGE

HARDSCAPE SURFACE CALCULATION	GROSS LOT AREA
12,500 SF	
x 6.3%	787.5 SF



LEGEND

- v --- v --- DESIGNATES WATER
- s --- s --- DESIGNATES SEWER
- sd --- sd --- DESIGNATES STORM
- --- --- DESIGNATES EXISTING GRADE
- --- --- DESIGNATES FINISHED GRADE
- x --- x --- DESIGNATES TREE DRIPLINE
- --- --- DESIGNATES TREE FENCING
- --- --- DESIGNATES EXISTING WOOD FENCE
- --- --- EXISTING FENCE TO BE REMOVED

DEMO EXISTING STRUCTURES AND HARDSCAPE

SEE ADDITIONAL STORM & UTILITY PLAN

Buchan Homes Westview Plan
Mercer Island, WA
3036 67th Ave SE

ARCHITECTURAL INNOVATIONS, P.S.
Forward Thinking Design Solutions For Your Environment
14311 SE 14th St.
Bellevue, WA 98007
1-800-888-4517
www.kaplanhomeplans.com

Date	By	Description
8/26/22	REV	UPDATED SITE PLAN
8/17/22	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS-UPDATED
10/2/23	REV	JURISDICTIONAL COMMENTS-CLOSED

TITLE: _____
JOB NO.: 21076.03
STARTING NO.: START

SHEET
A1.1

3036 67TH AVE SE MERCER ISLAND SITE PLAN

LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARING

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM & CONTROL INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47746;
ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

SURVEY NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

SITE DATA

HIGHEST ELEVATION OF LOT: 118.25
 LOWEST ELEVATION OF LOT: 98.66
 LOT SLOPE: 19.3%
 TOTAL SITE AREA: 12,500 SF
 ALLOWED LOT COVERAGE: 40%
 PROPOSED LOT COVERAGE: 3,899 SF (31.2%)
 PROPOSED HARDSCAPE: 581 SF (4.6%)
 PROJECT IMPERVIOUS AREA: 4,480 SF (35.8%)

* LOT COVERAGE INCLUDES THE COMBINATION OF BUILDINGS, INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

OWNER / ARCHITECT

WILLIAM E. BUCHAN INC.
2630 116 AVE NE #100
BELLEVUE, WA 98004
(425) 831-5503
CONTACT: DAVID STAVE

ENGINEER

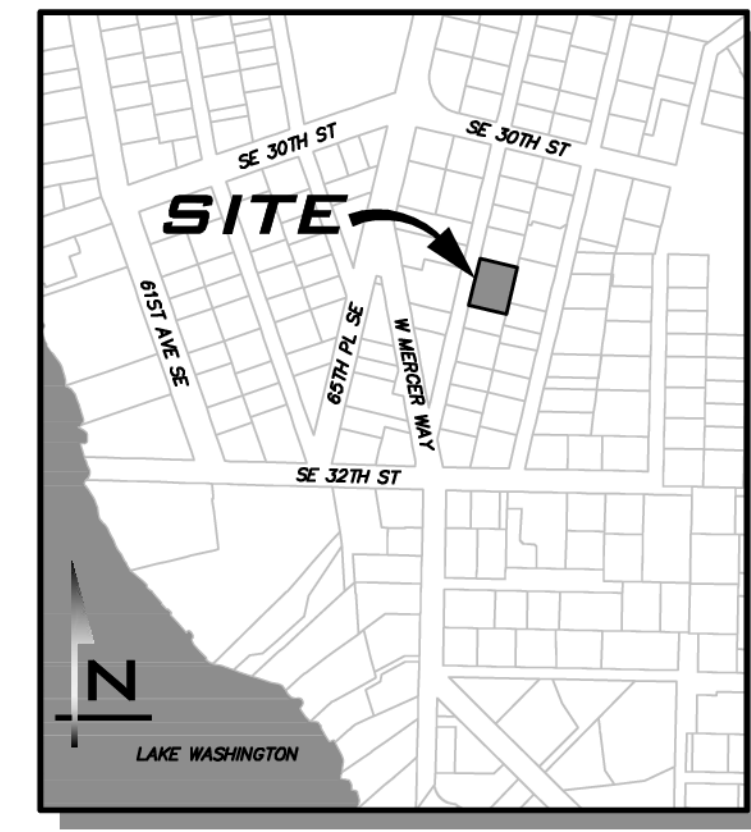
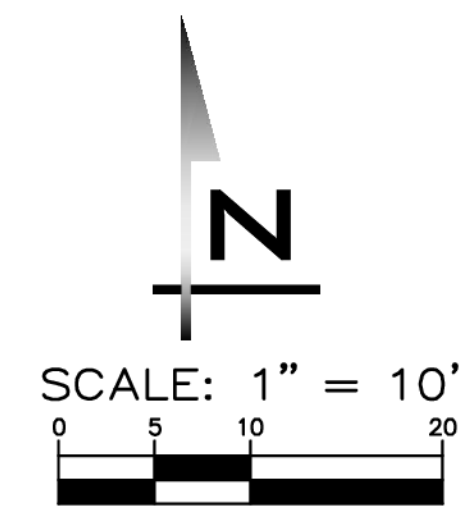
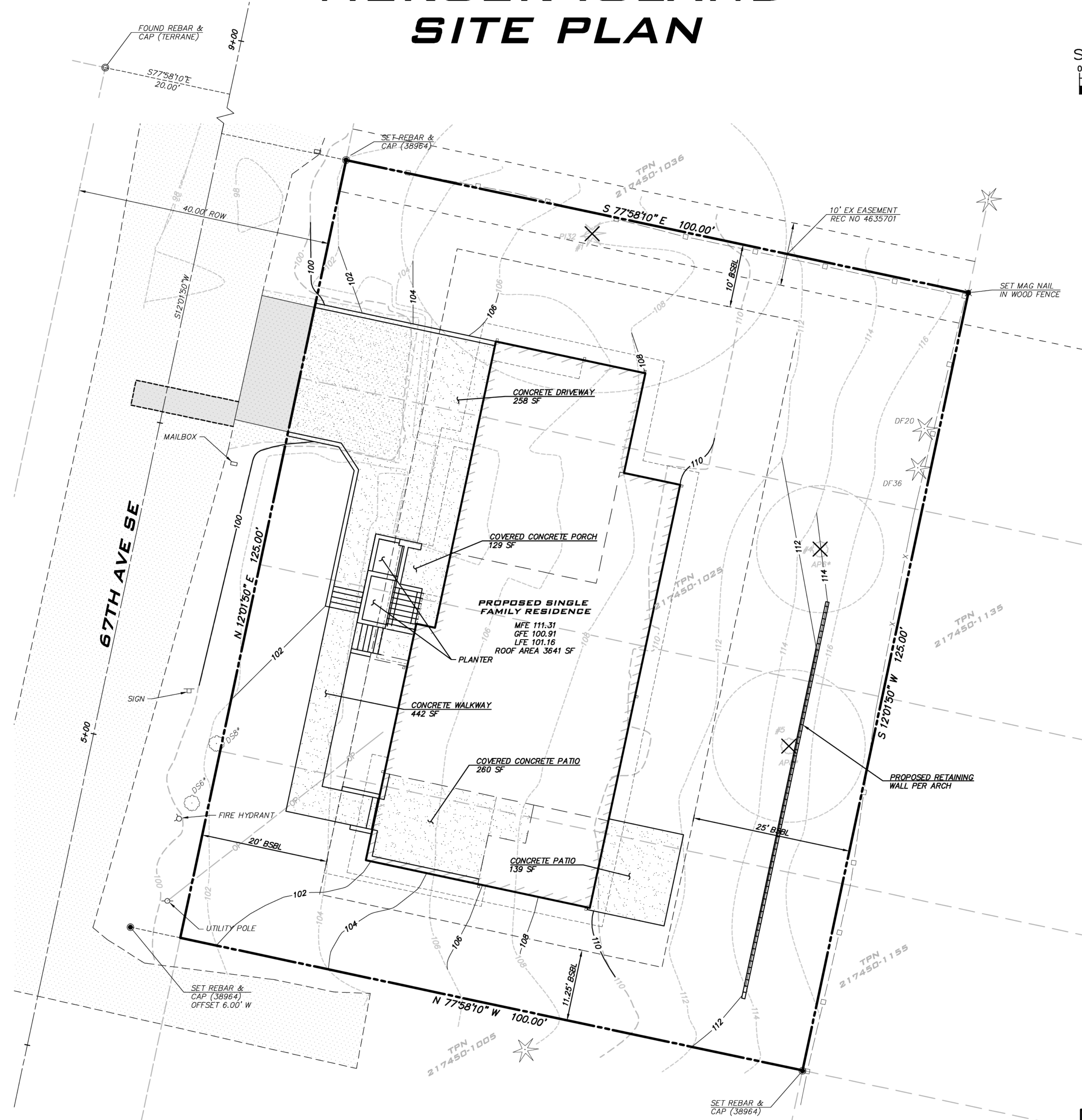
THE BLUELINE GROUP
25 CENTRAL WAY, SUITE 400
KIRKLAND, WA 98033
(425) 250-7262
CONTACT: YANNICK METS, PE

GEOTECH ENGINEER

TERRA ASSOCIATES, INC
12220 113TH AVE NE, SUITE 130
KIRKLAND, WA 98034
(425) 821-7777
CONTACT: CAROLYN S. DECKER, PE

SHEET INDEX

- CV-01 COVER SHEET
- TP-01 TESC PLAN
- TP-02 TESC DETAILS
- TR-01 TREE RETENTION PLAN
- SP-01 SIDE SEWER PROFILE
- TG-01 TEMPORARY GRADING PLAN
- DT-01 DETAILS
- DT-02 DETAILS



LEGEND	
PROPOSED FEATURES	
BOUNDARY	MAILBOX
RIGHT-OF-WAY	ASPHALT PAVEMENT
LOT LINE	CONCRETE
SIDEWALK	
CENTER LINE	
SAWTOOTH	
BUILDING FOOTPRINT	
BUILDING OVERHANG	
BUILDING ROOFLINE	
BUILDING SETBACK (BSBL)	
190' 10' PROPOSED CONTOURS	
192' 2' PROPOSED CONTOURS	
PROPOSED STORM DRAINAGE	
STORM DRAIN PIPE	TYPE I CB - STANDARD GRADE
ROOF & FOOTING DRAIN	TYPE I CB - LOCKING LID
SWALE OR DITCH	STORM CLEANOUT
SURFACE FLOW	YARD DRAIN
EXISTING FEATURES	
ADJACENT PLAT/PARCEL LINE	POWER VAULT
ADJACENT RIGHT-OF-WAY	POWER METER
CENTERLINE	MAIL BOX
EASEMENT	EXISTING CONIFEROUS TREE
SURFACE FEATURES	EXISTING DECIDUOUS TREE
BUILDING FOOTPRINT	DRIP LINE
190' 10' CONTOURS	CONIFEROUS TREE TO BE SAVED
192' 2' CONTOURS	DECIDUOUS TREE TO BE SAVED
SD STORM DRAIN PIPE	EXISTING CONIFEROUS TREE TO BE REMOVED
SS SEWER MAIN	EXISTING DECIDUOUS TREE TO BE REMOVED
W WATER MAIN	ASPHALT
AHP AERIAL POWER LINE	CONCRETE
G GAS MAIN	GRAVEL
X WIRE FENCE	
BOARD FENCE	
RETAINING WALL	
ROCKERY	
CATCH BASIN, TYPE I	
CATCH BASIN, TYPE II	
SD PIPE FLOW	
SEWER MANHOLE	
SS PIPE FLOW	
FIRE HYDRANT	
WATER METER	
GATE VALVE	
POWER POLE	
GUY ANCHOR	
STREET LIGHT	
TESC FEATURES	
FILTER FENCE	PIPE FLOW
CONSTRUCTION FENCE	INTERIM CATCH BASIN PROTECTION (INSERT)
CLEARED AREA	
LIMITS OF CLEARING	

EXISTING UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

BUILDING CALCULATIONS
 SEE ARCHITECTURAL SITE PLAN FOR TREE RETENTION, BUILDING HEIGHTS AND FAR CALCULATIONS.



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED
 PROJECT MANAGER:
YANNICK METS, PE
 PROJECT ENGINEER:
AU RAMEZANI, PE
 DESIGNER:
CHRISTOPHER WSCOMB
 ISSUE DATE:
10/11/2023

NO	DATE	BY	REVISIONS

COVER SHEET
3036 67TH AVENUE SE
 SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON



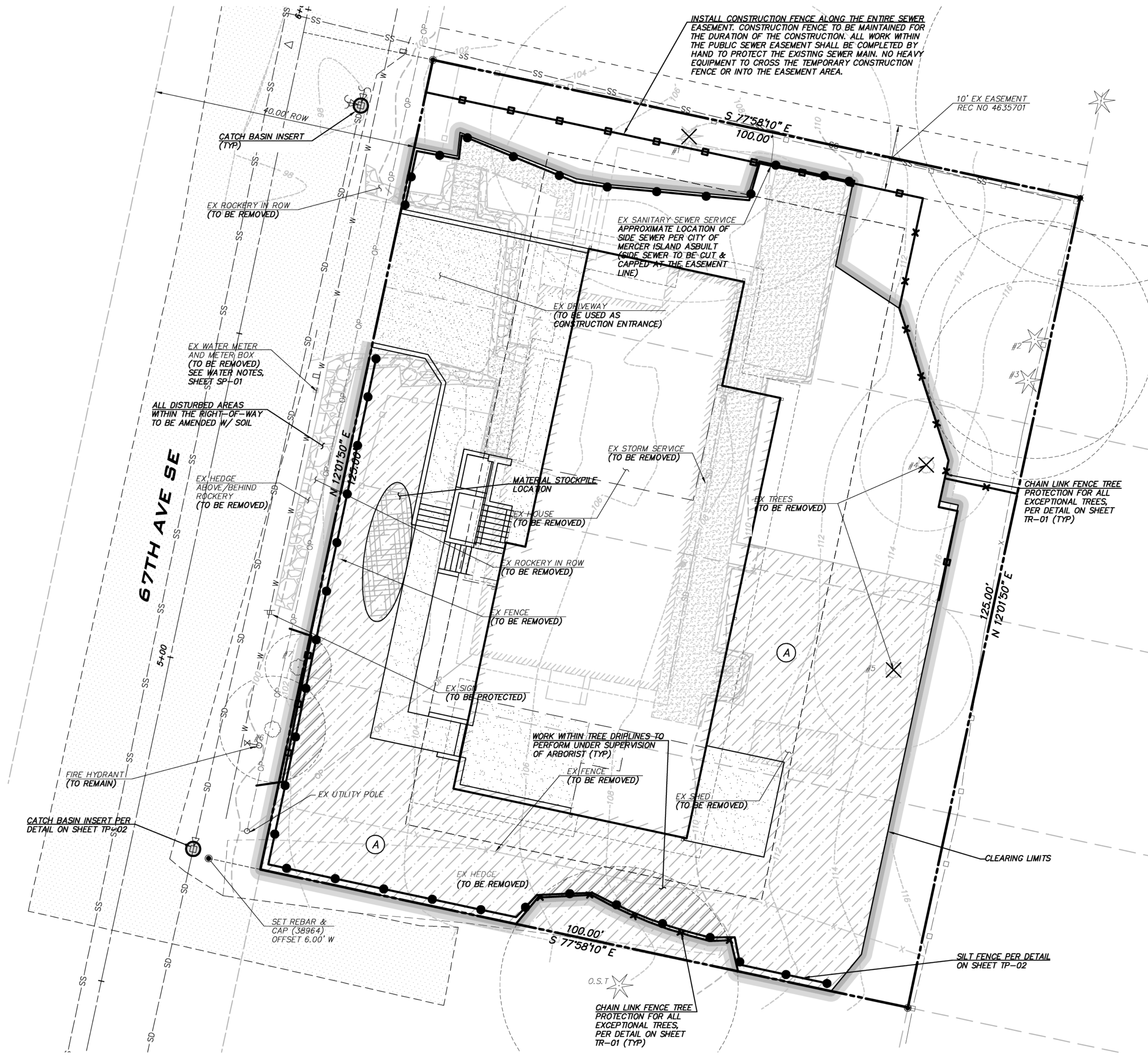
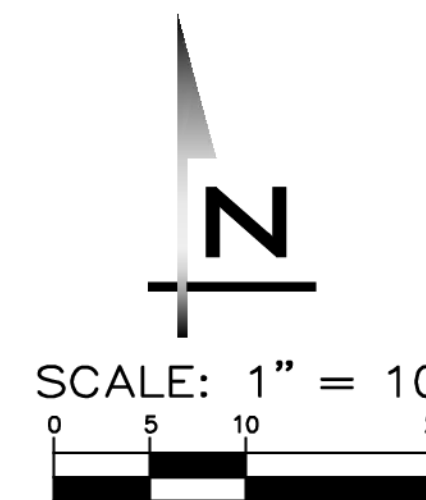
10/11/23
 JOB NUMBER:
22-042
 SHEET NAME:
CV-01

22/34
 Oct 11, 2023 - 3:11pm - User: ccouch
 E:\Projects\22042\DWG\SitePlan\22042CV.dwg



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED
PROJECT MANAGER:
YANNICK METS, PE
PROJECT ENGINEER:
ALI RAMEZANI, PE
DESIGNER:
CHRISTOPHER WSCOMB
ISSUE DATE:
10/11/2023



NOTE
CATCH BASIN INLET PROTECTION TO BE INSTALLED UP TO 250' DOWNSTREAM OF THE PROJECT SITE.

SOIL AMENDMENT LEGEND
 (A) NEW TURF AREA REQUIRING AMENDMENT (3,602 SF)

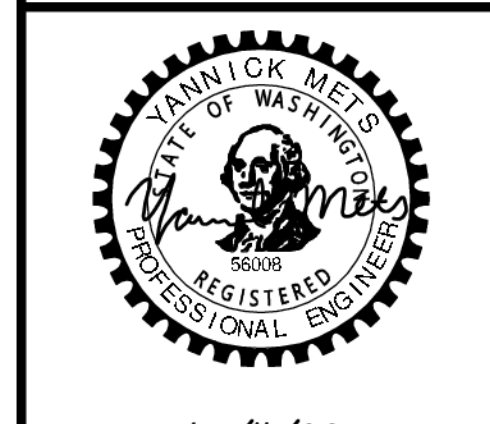
POST-CONSTRUCTION SOIL MANAGEMENT NOTES
 AMEND SOILS WITH COMPOST PER PRE-APPROVED AMENDMENT METHOD
 SCARIFY EXISTING SOILS TO DEPTH OF 8 INCHES
 REFER TO CITY OF MERCER ISLAND SECTION D: POST-CONSTRUCTION SOIL MANAGEMENT FORM UNDER SEPARATE COVER FOR CALCULATED AMENDMENT QUANTITIES.

NOTE
EXISTING WATER METER TO BE ABANDONED.

EXISTING UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

NO	DATE	BY	REVISIONS

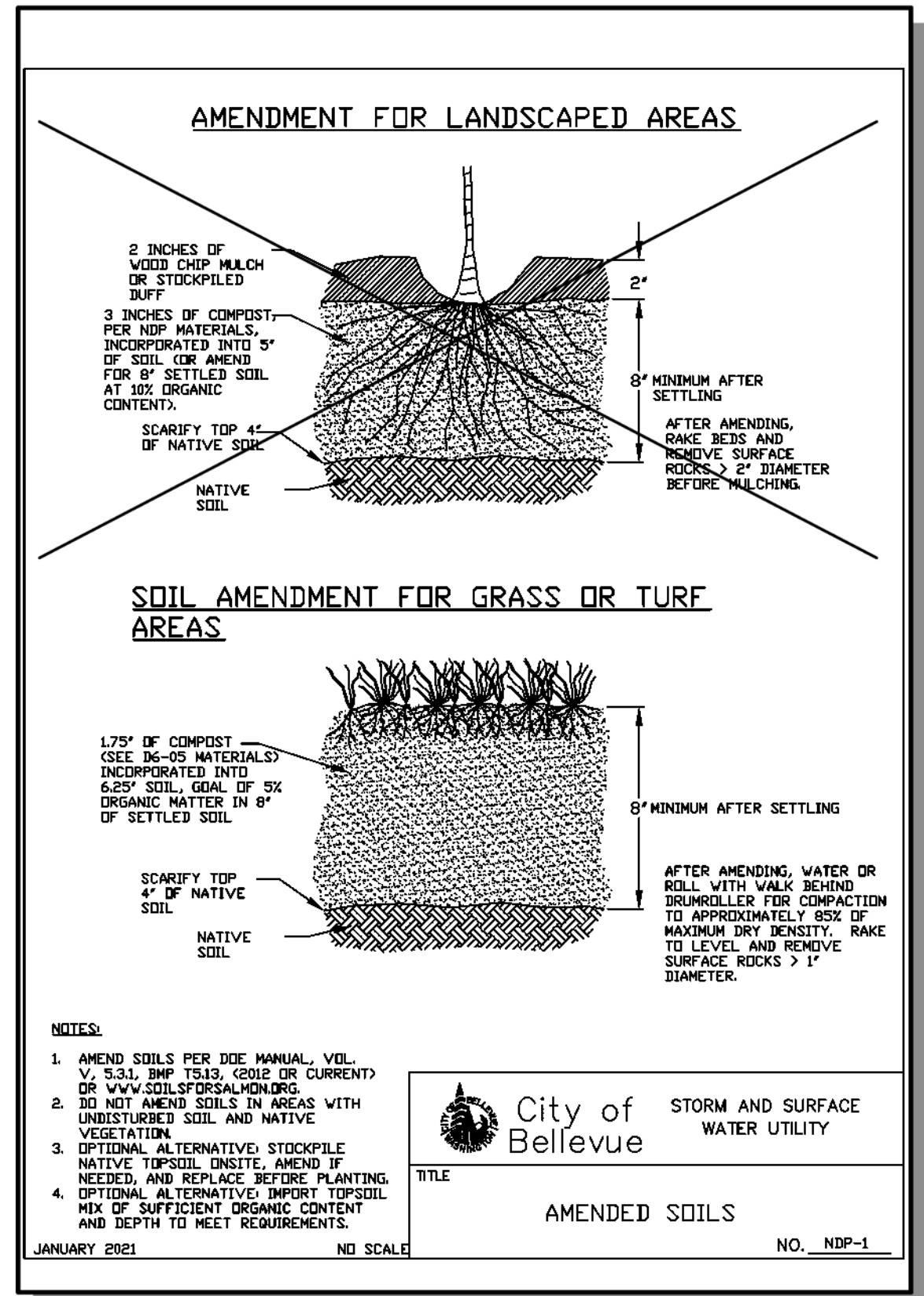
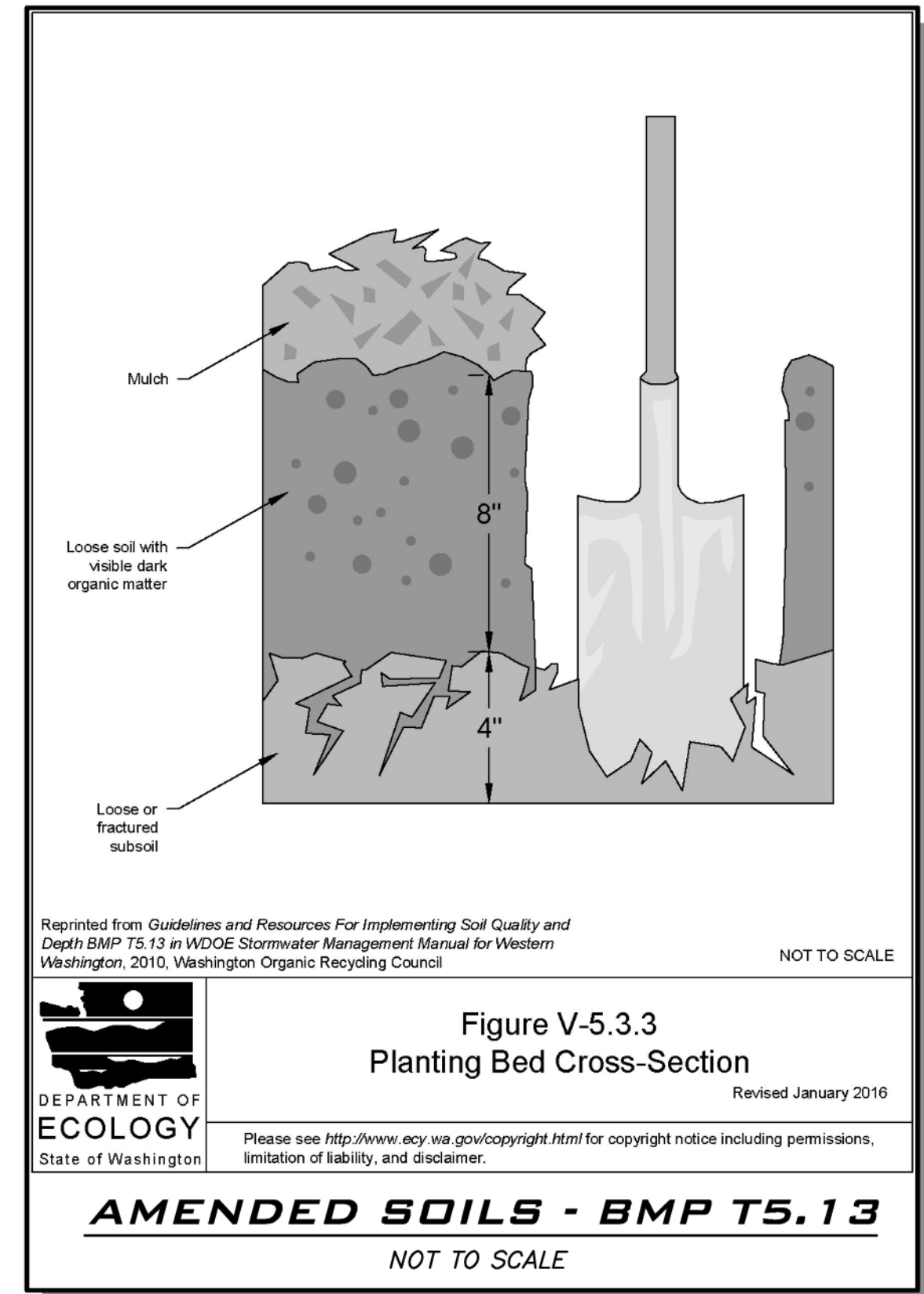
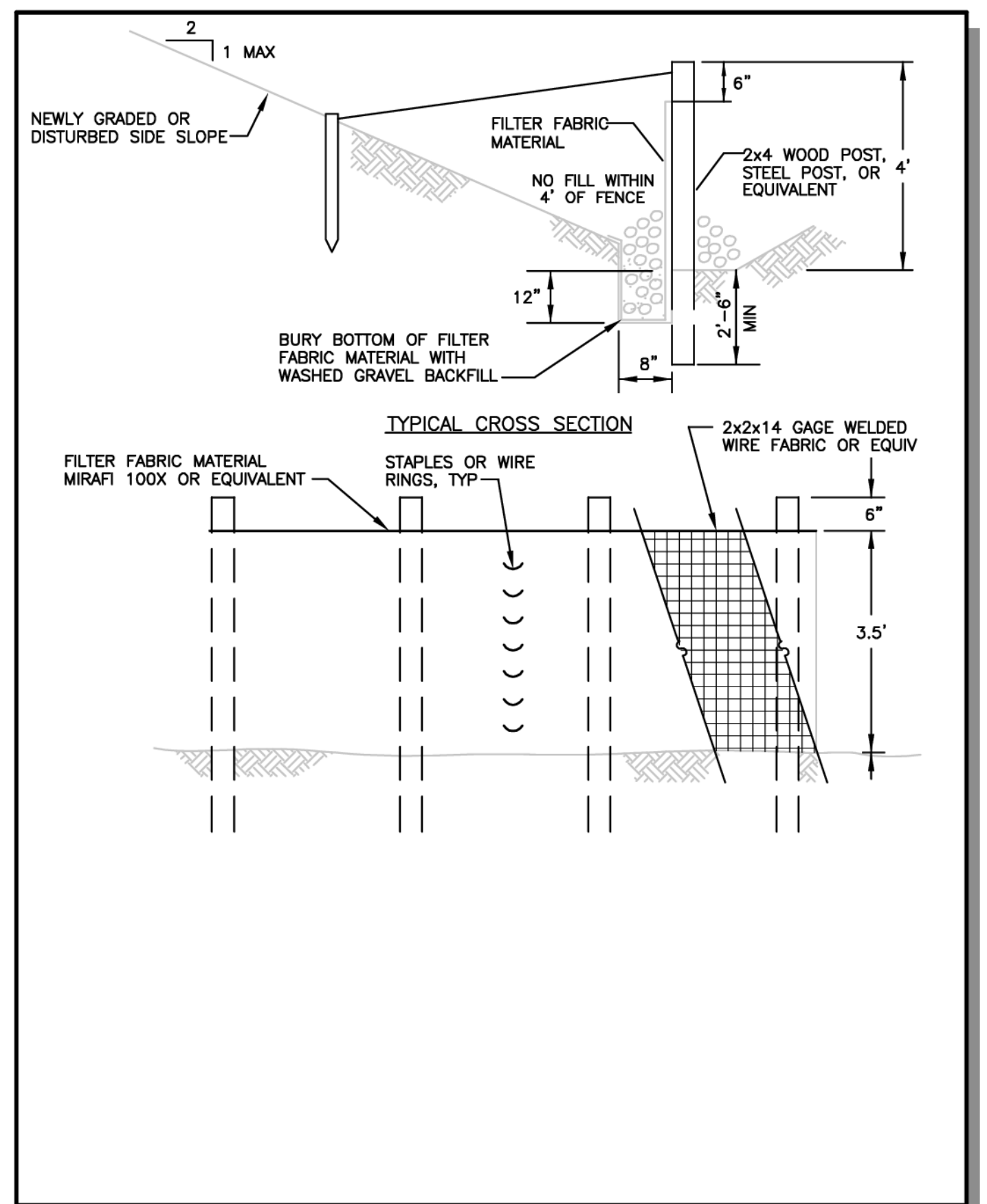
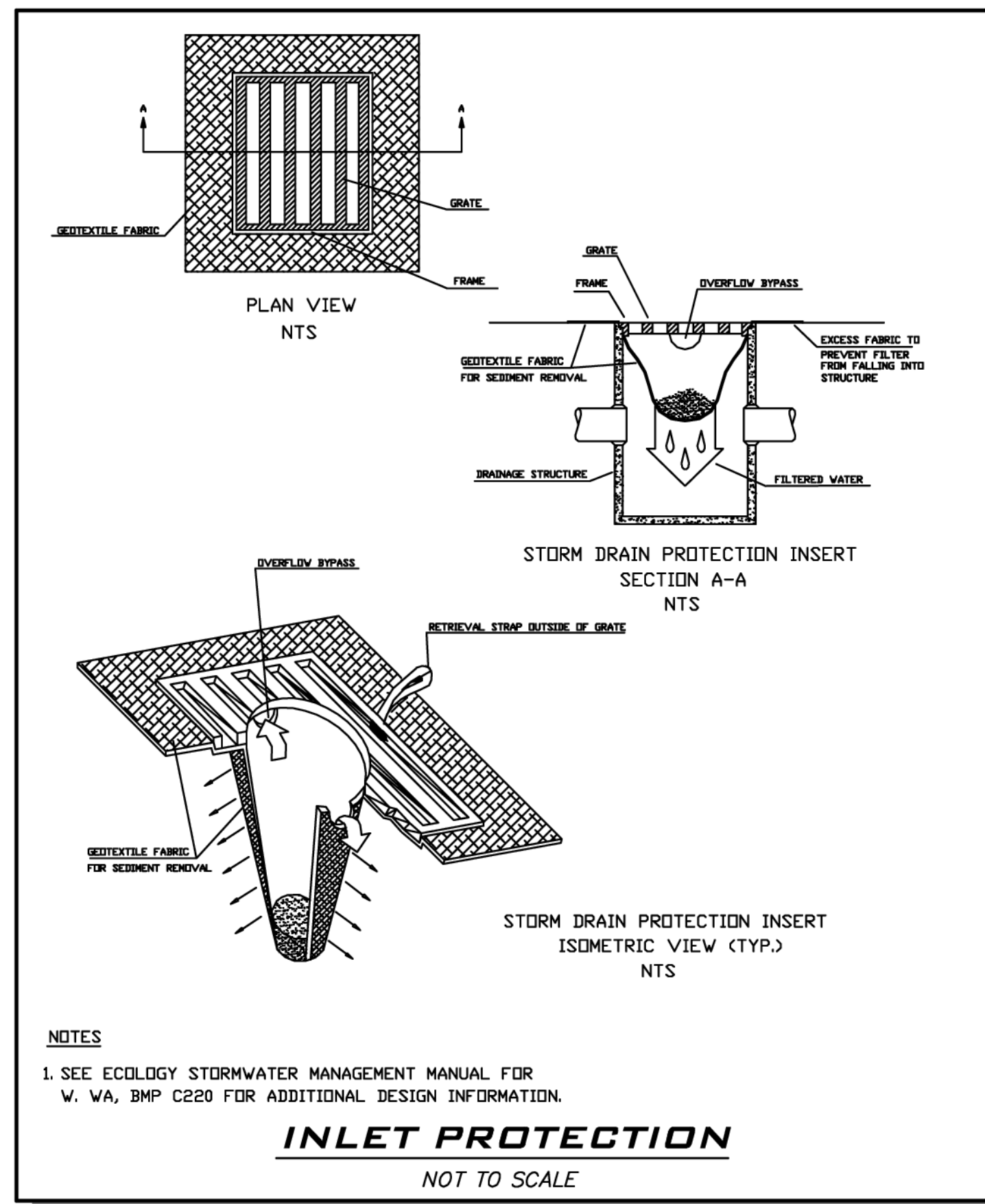
TESC PLAN
3036 67TH AVENUE SE
SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON



10/11/23
 JOB NUMBER:
22-042
 SHEET NAME:
TP-01

TESC - PLAN NOTES

- THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
 - CONDUCT PRE-CONSTRUCTION MEETING.
 - FLAG OR FENCE CLEARING LIMITS.
 - POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
 - INSTALL CATCH BASIN PROTECTION IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
 - COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
 - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
 - SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT ADDITIONAL TEMPORARY SILTATION PONDING AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- ALL DENUDE SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
 - APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
 - NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
 - AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT.
- CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40% -70% PASSING; 2"-4" ROCK/30% -40% PASSING; AND 1"-2" ROCK/10% -20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK OF OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.



EXISTING UTILITY NOTE
EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

ATWELL
25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE: AS NOTED
PROJECT MANAGER: YANNICK METS, PE
PROJECT ENGINEER: ALI RAMEZANI, PE
DESIGNER: CHRISTOPHER WISCOMB
ISSUE DATE: 10/11/2023

NO	DATE	BY	REVISIONS

TESC DETAILS

3036 67TH AVENUE SE

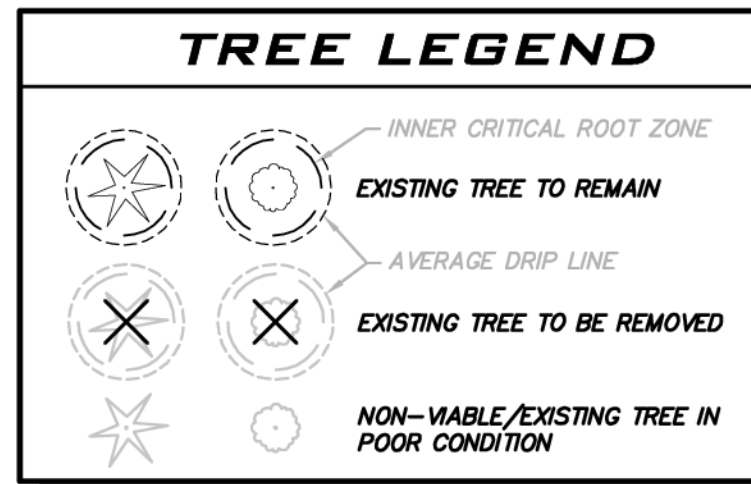
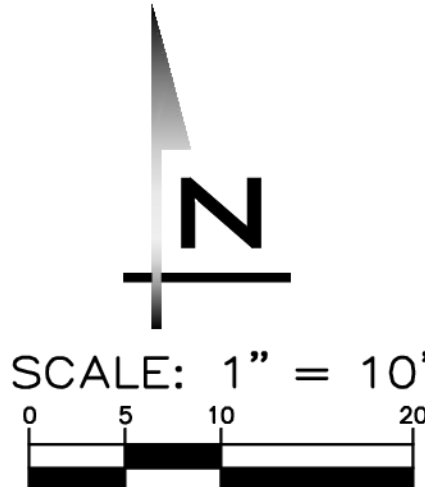
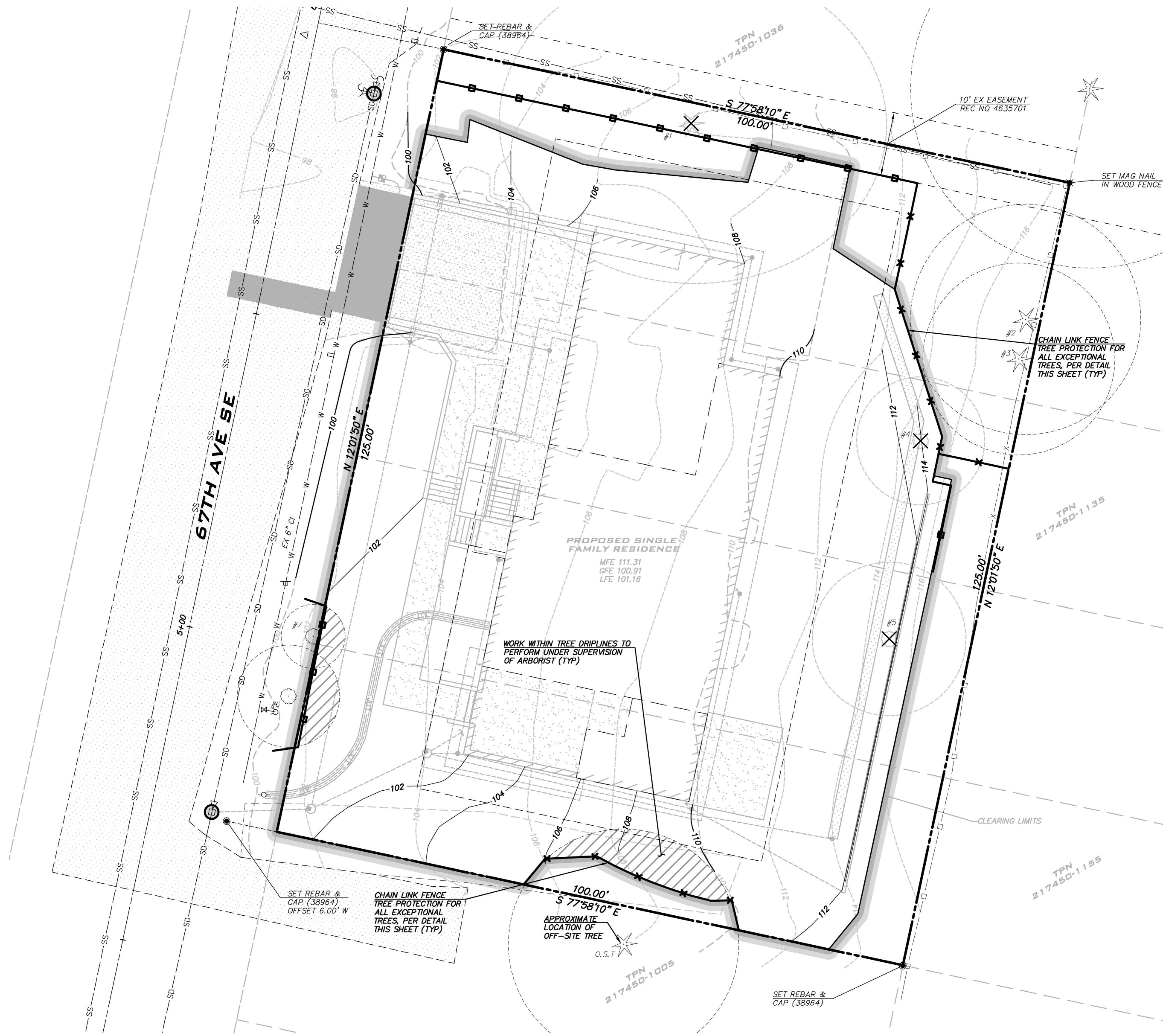
SITE PLAN

PARCEL 2174501025

CITY OF MERCER ISLAND WASHINGTON

10/11/23
JOB NUMBER: **22-042**
SHEET NAME: **TP-02**

SHT **3** OF **9**



TREE PROTECTION AREA (TPZ)

KEEP OUT!

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes:

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damage by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (M/C: 25.10.360).
4. Any work in approved TPZ must be with the permission of the City Arborist (205) 275-7713, john.kennedy@mercer.gov.
5. 5' course woodchips within the tree protection zone, but not against the tree trunk.

Tree protection fence: 4' x 4' chain link fence, solidly anchored into the ground, or if anchored high-density polyethylene fencing with 3.5' x 1.5' openings color orange. Steel posts installed at 8' o.c.

2" x 4" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans

Any Work in the protected area must be with the permission of the City Arborist john.kennedy@mercer.gov

TREE PROTECTION FENCING

NTS

STORM NOTES

STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WATER NOTES

1. IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SDT W-13.

SANITARY SEWER NOTES

1. EXISTING LOCATION OF SANITARY SEWER PER CITY OF MERCER ISLAND ASBULT. CONTRACTOR TO VERIFY POINT OF CONNECTION WITHIN THE EASEMENT.
2. EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT POINT OF CONNECTION TO THE SIDE SEWER. THE EXISTING SS LINE WITHIN THE EASEMENT SHALL BE CLEANED, LOCATED AND INSPECTED BY CAMERA TO VERIFY SUITABILITY FOR RE-USE AND NEED FOR RE-LINING.
3. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18.
4. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
5. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

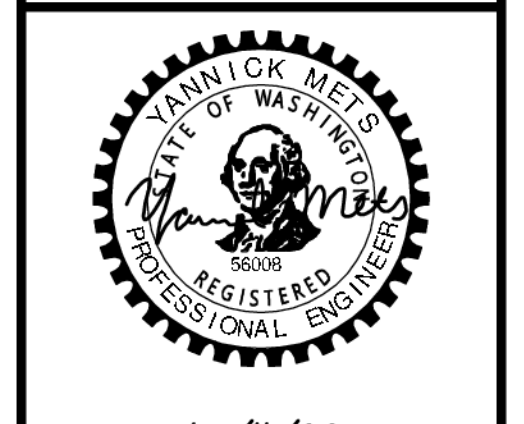
PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WISCOMB

ISSUE DATE:
10/11/2023

NO	DATE	BY	REVISIONS

TREE RETENTION PLAN
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON

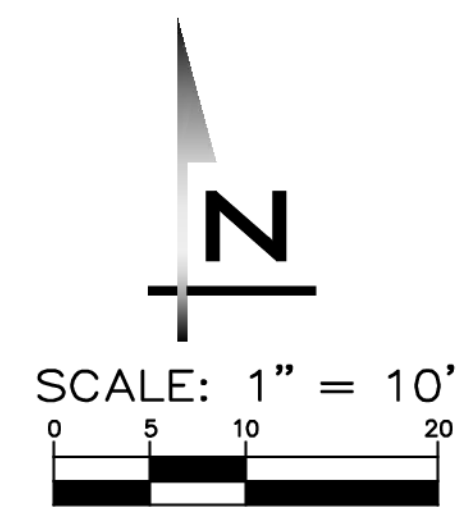


10/11/23

JOB NUMBER:
22-042

SHEET NAME:
TR-01

SHT **4** OF **9**



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

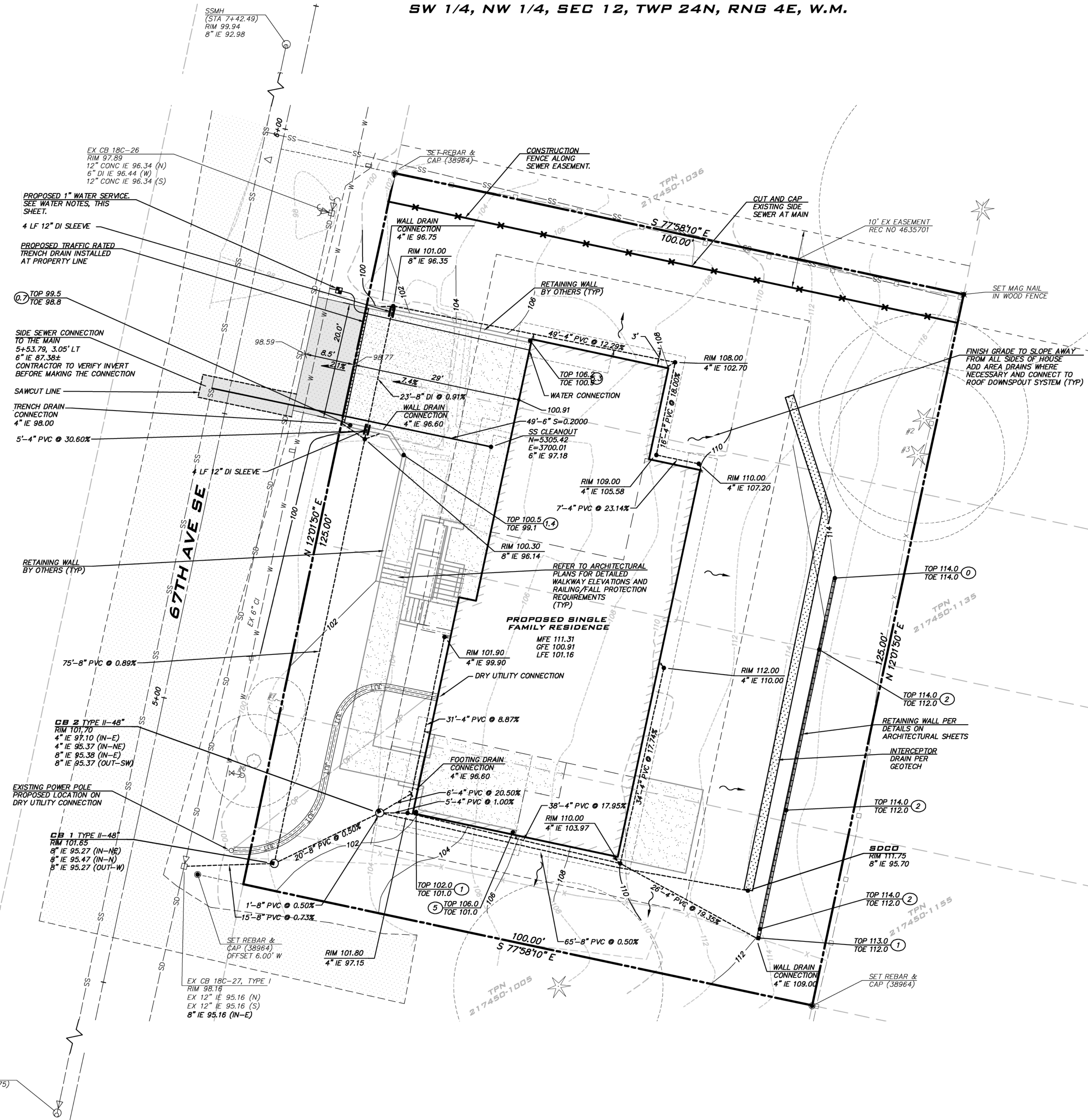
SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WSCOMB

ISSUE DATE:
10/11/2023



STORM NOTES

1. STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.
2. TYPE II CATCH BASINS TO BE INSTALLED PER COB STD DTL D-4.
3. STORM DRAIN CLEANOUTS TO BE INSTALLED PER COB STD DTL D-52.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WATER NOTES

1. IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SOT DTL W-13.

SANITARY SEWER NOTES

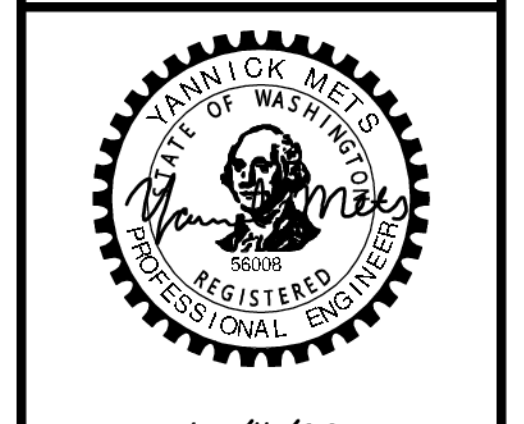
1. EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT THE EASEMENT LINE.
2. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18 & S-17.
3. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
4. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS
5. MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

NO	DATE	BY	REVISIONS

SITE PLAN
3036 67TH AVENUE SE
 SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON



10/11/23

JOB NUMBER:
22-042

SHEET NAME:
SP-01

SHT **5** OF **9**



ATWELL

25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

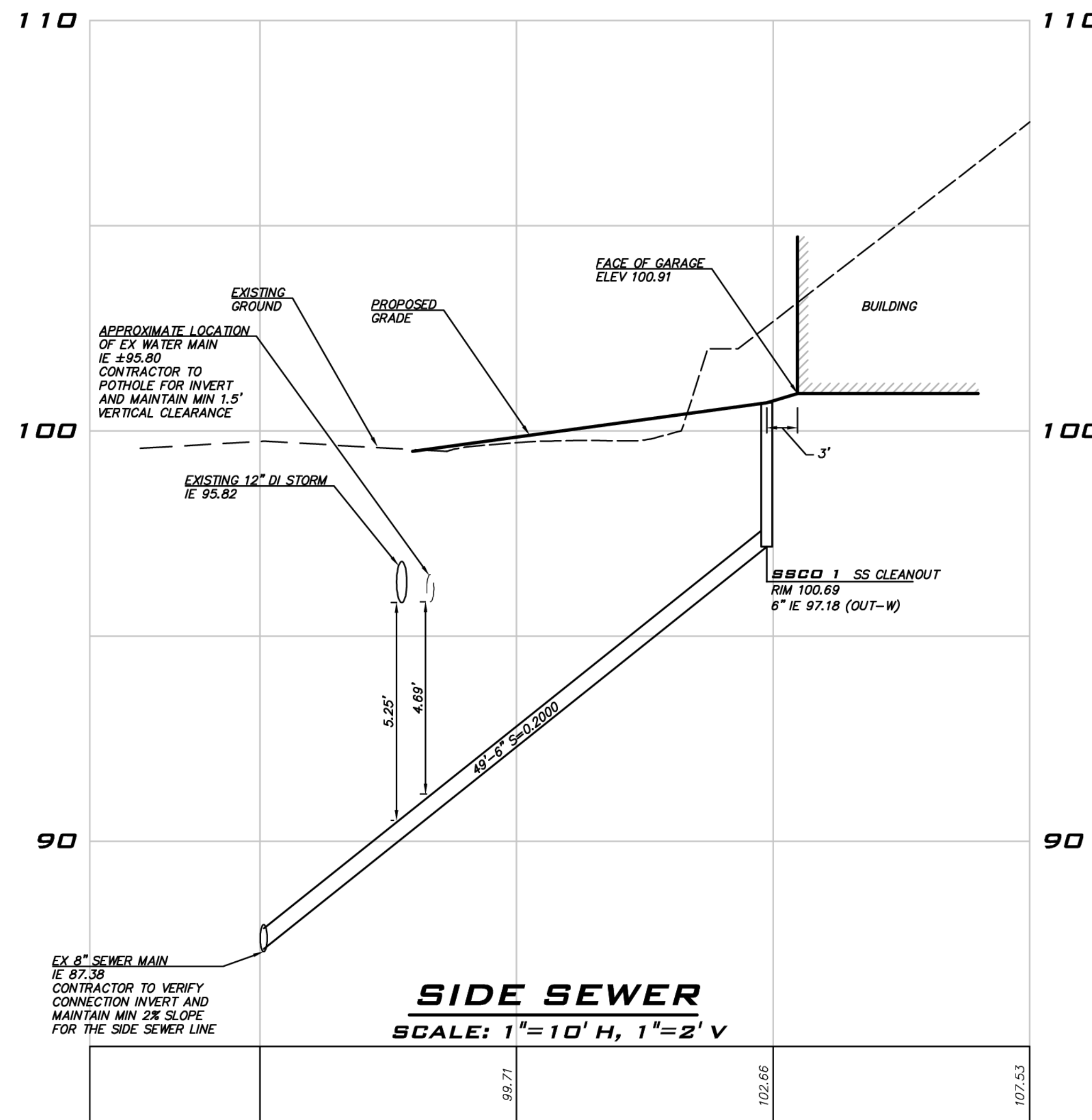
SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WSCOMB

ISSUE DATE:
10/11/2023



NO	DATE	BY	REVISIONS

SIDE SEWER PROFILE
3036 67TH AVENUE SE
SITE PLAN
 PARCEL 2174501025
 CITY OF MERCER ISLAND WASHINGTON

SANITARY SEWER NOTES

- EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT THE EASEMENT LINE.
- PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18 & S-17.
- SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
- REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS
- MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



10/11/23

JOB NUMBER:

22-042

SHEET NAME:

SS-01

SHT **6** OF **9**



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED

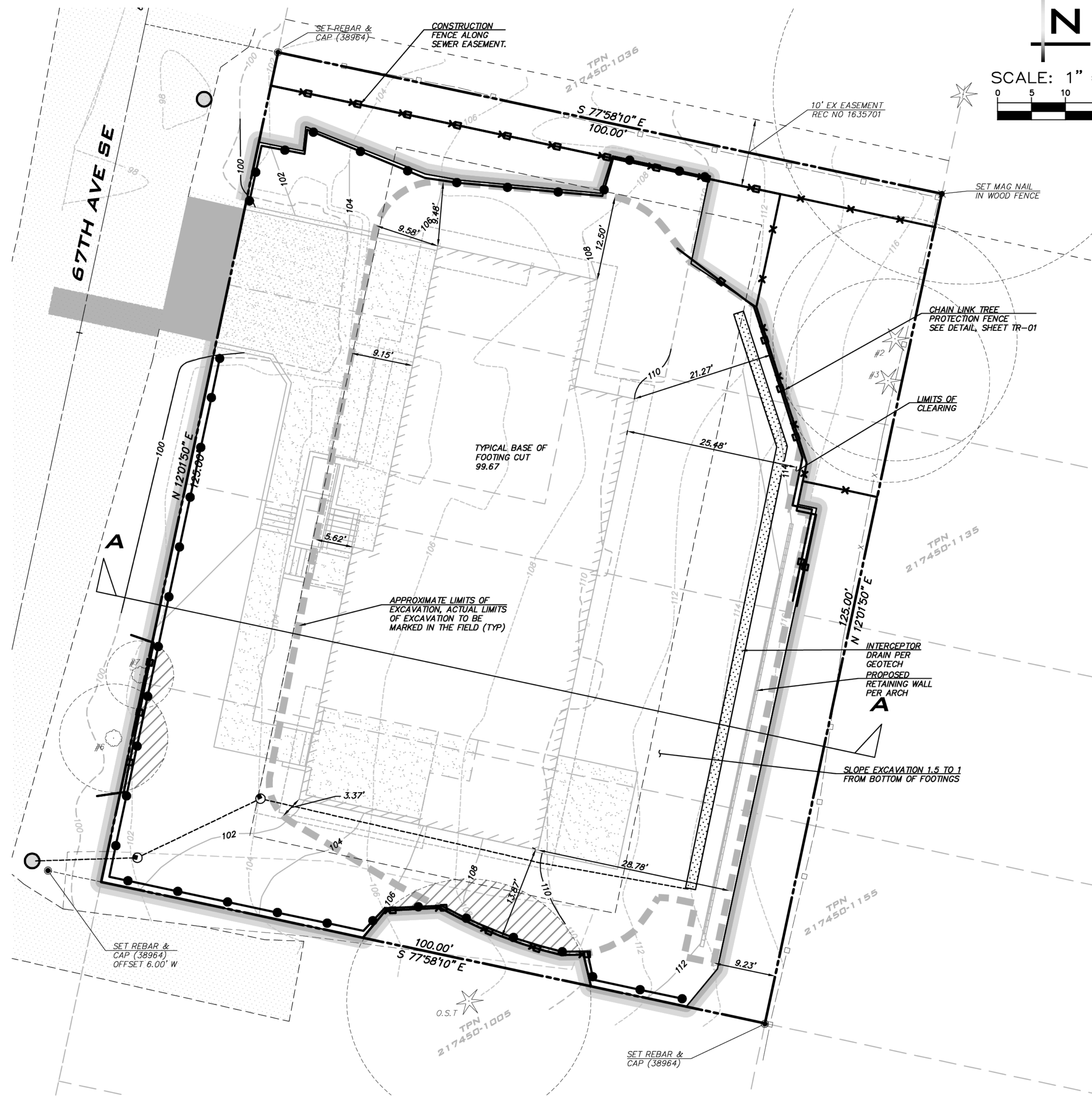
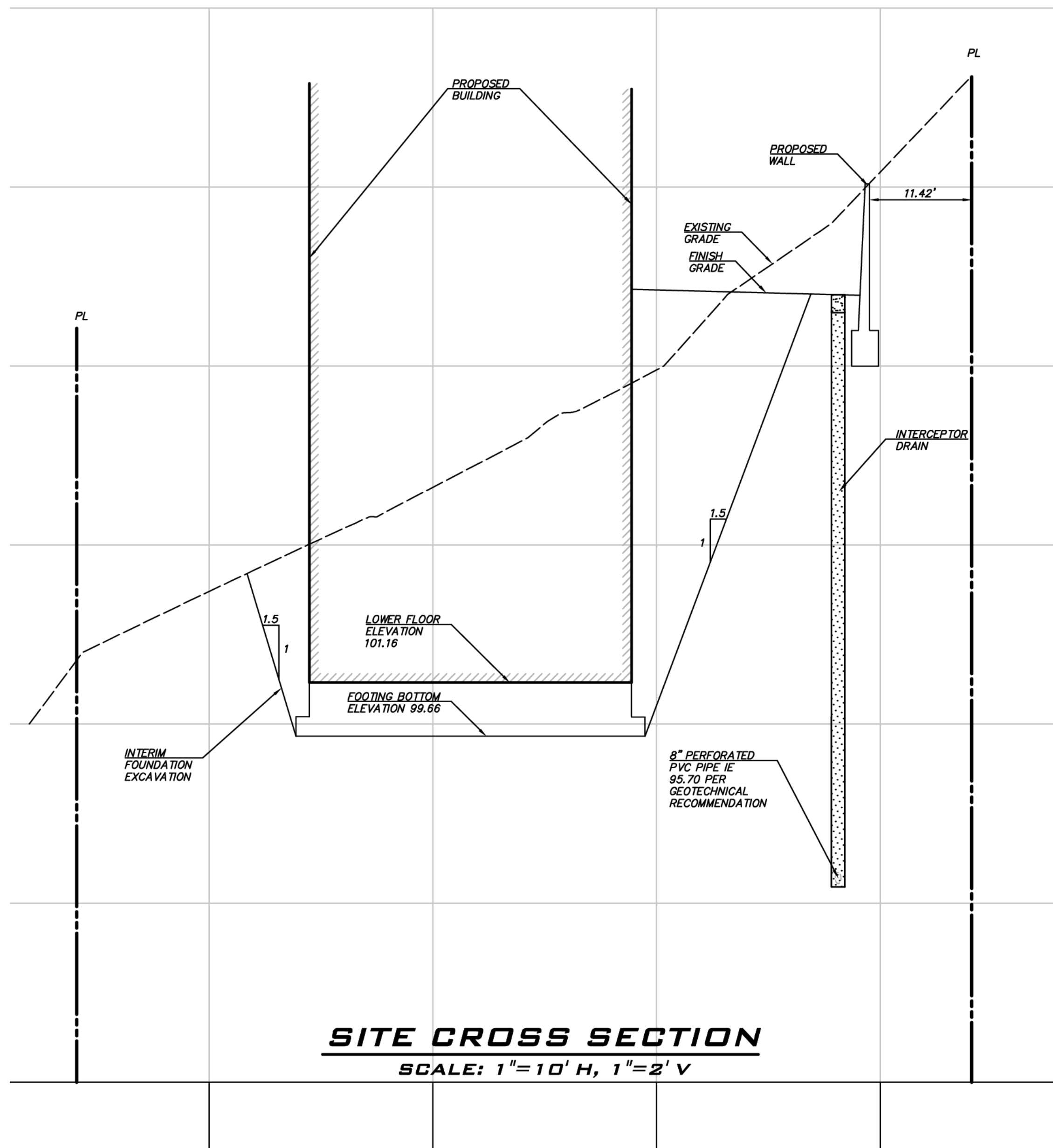
PROJECT MANAGER:
YANNICK METS, PE

PROJECT ENGINEER:
ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WSCOMB

ISSUE DATE:
10/11/2023

SCALE: 1" = 10'
0 5 10 20



EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

NO	DATE	BY	REVISIONS

TEMPORARY GRADING PLAN
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON



10/11/23

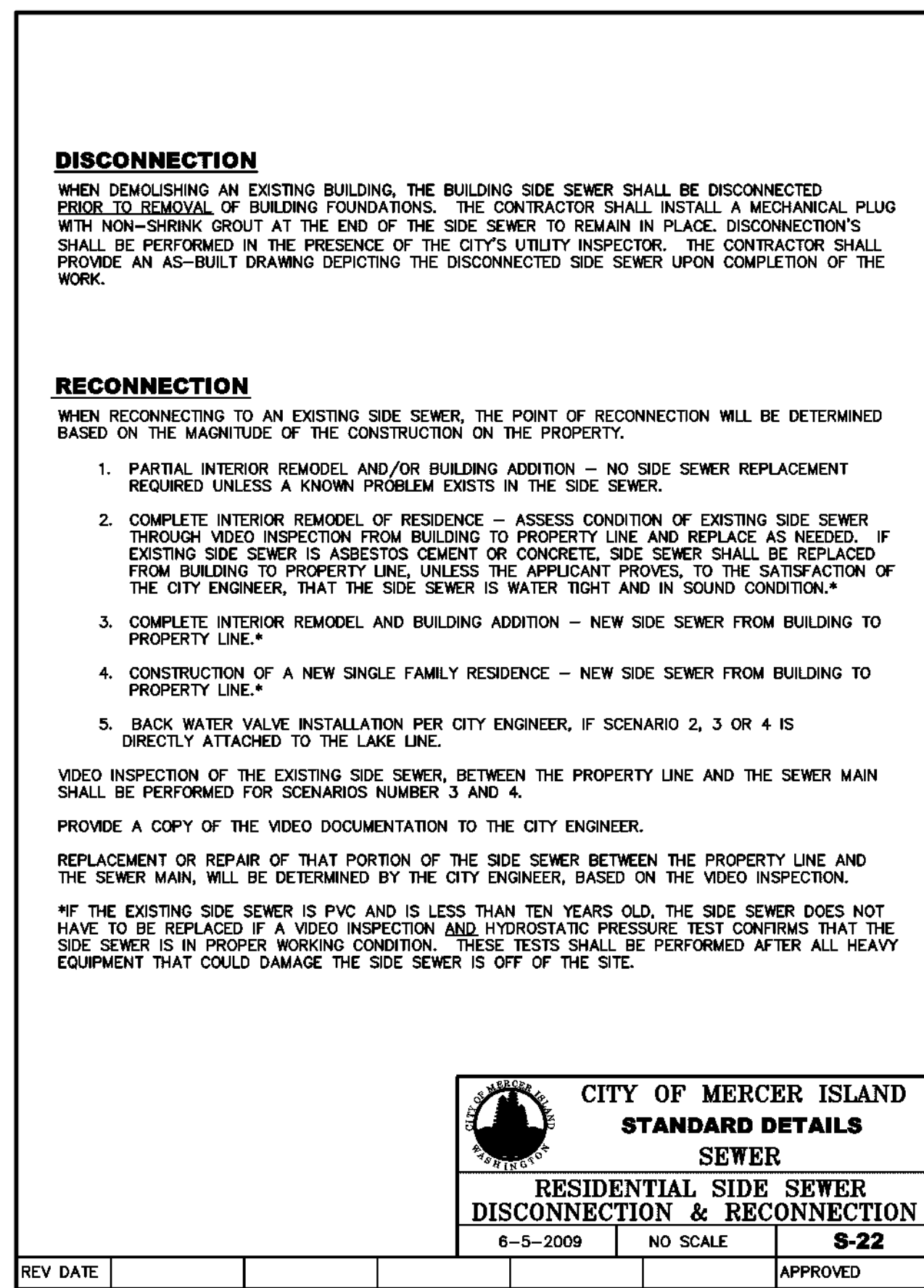
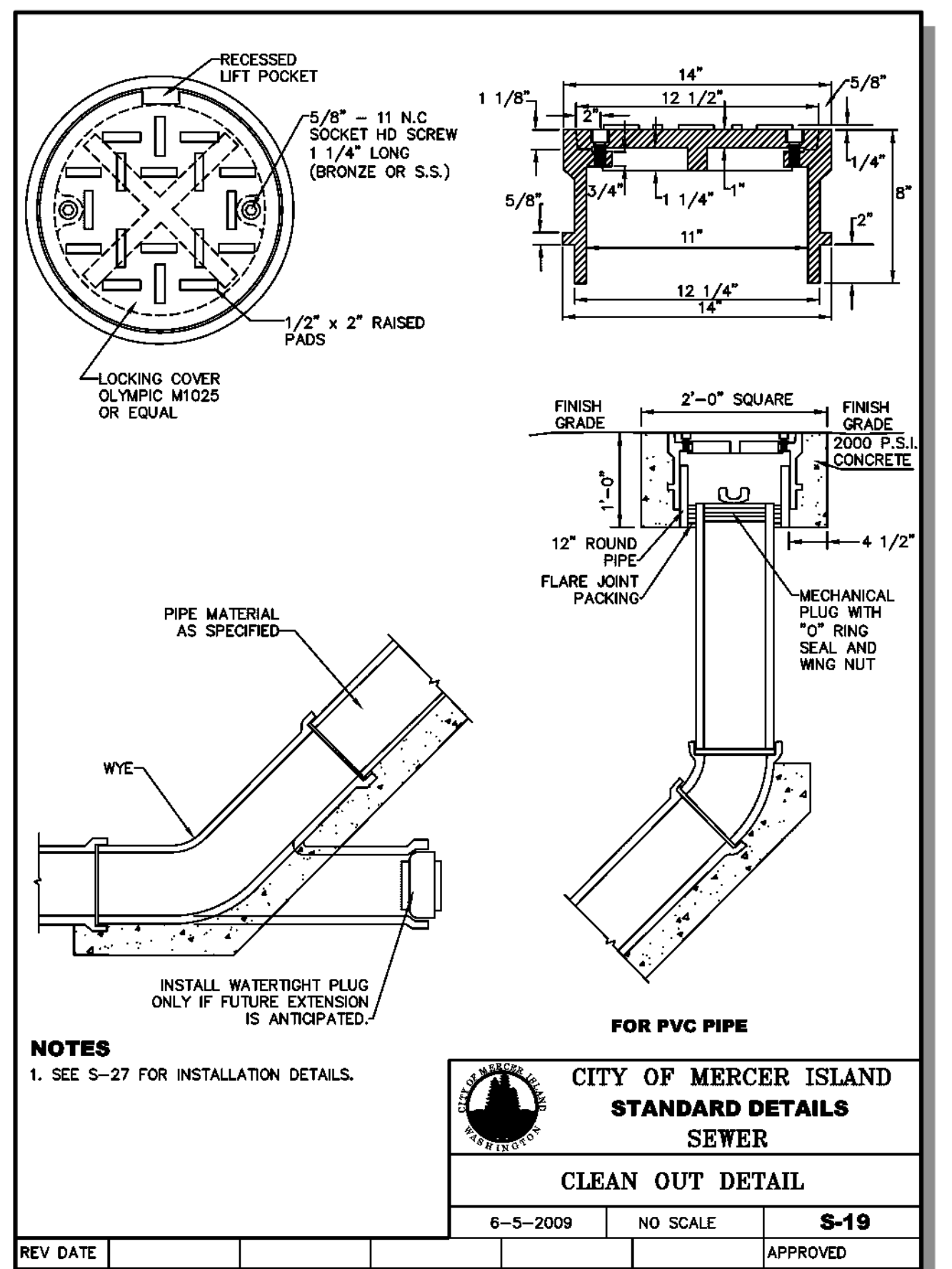
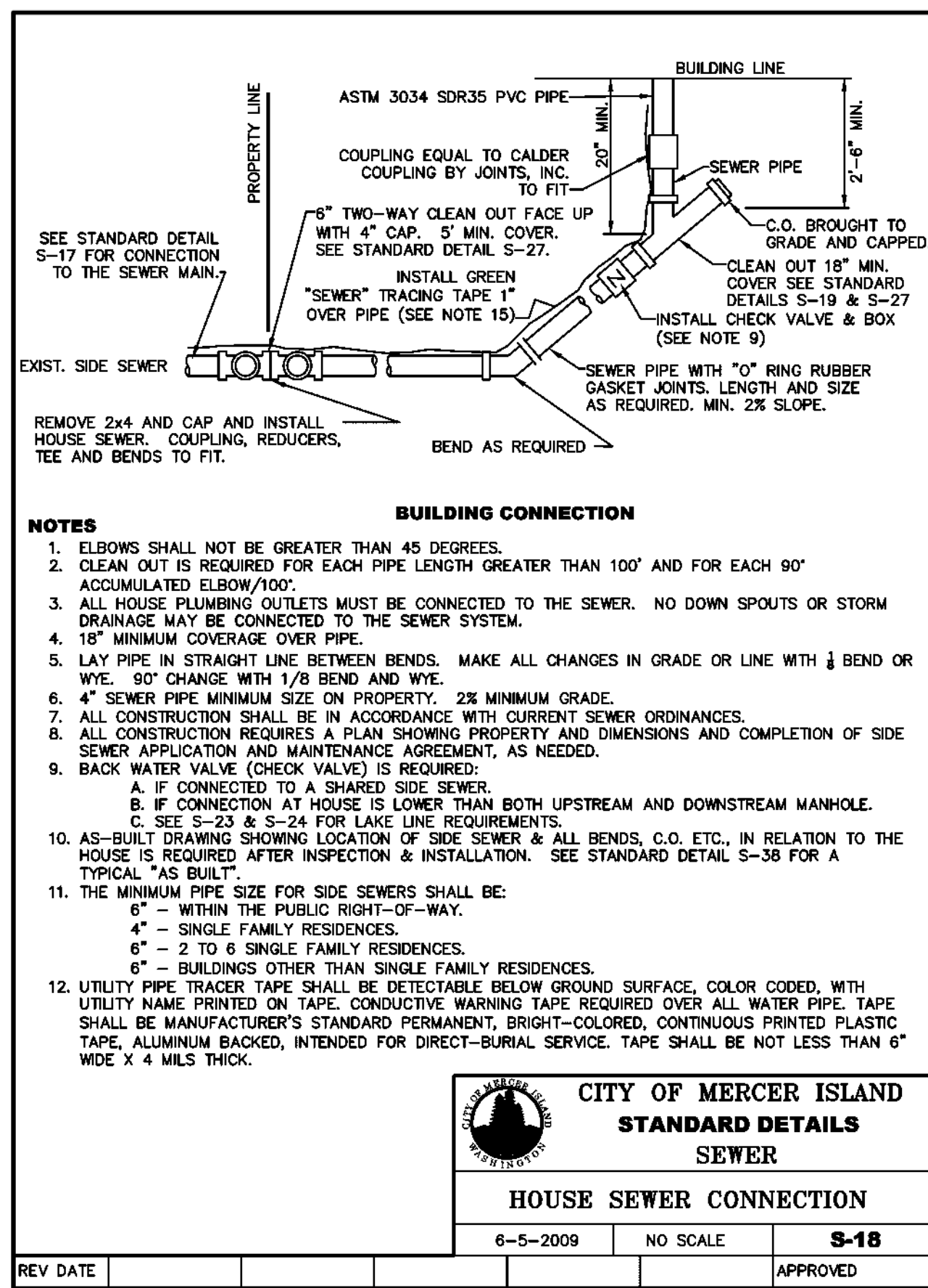
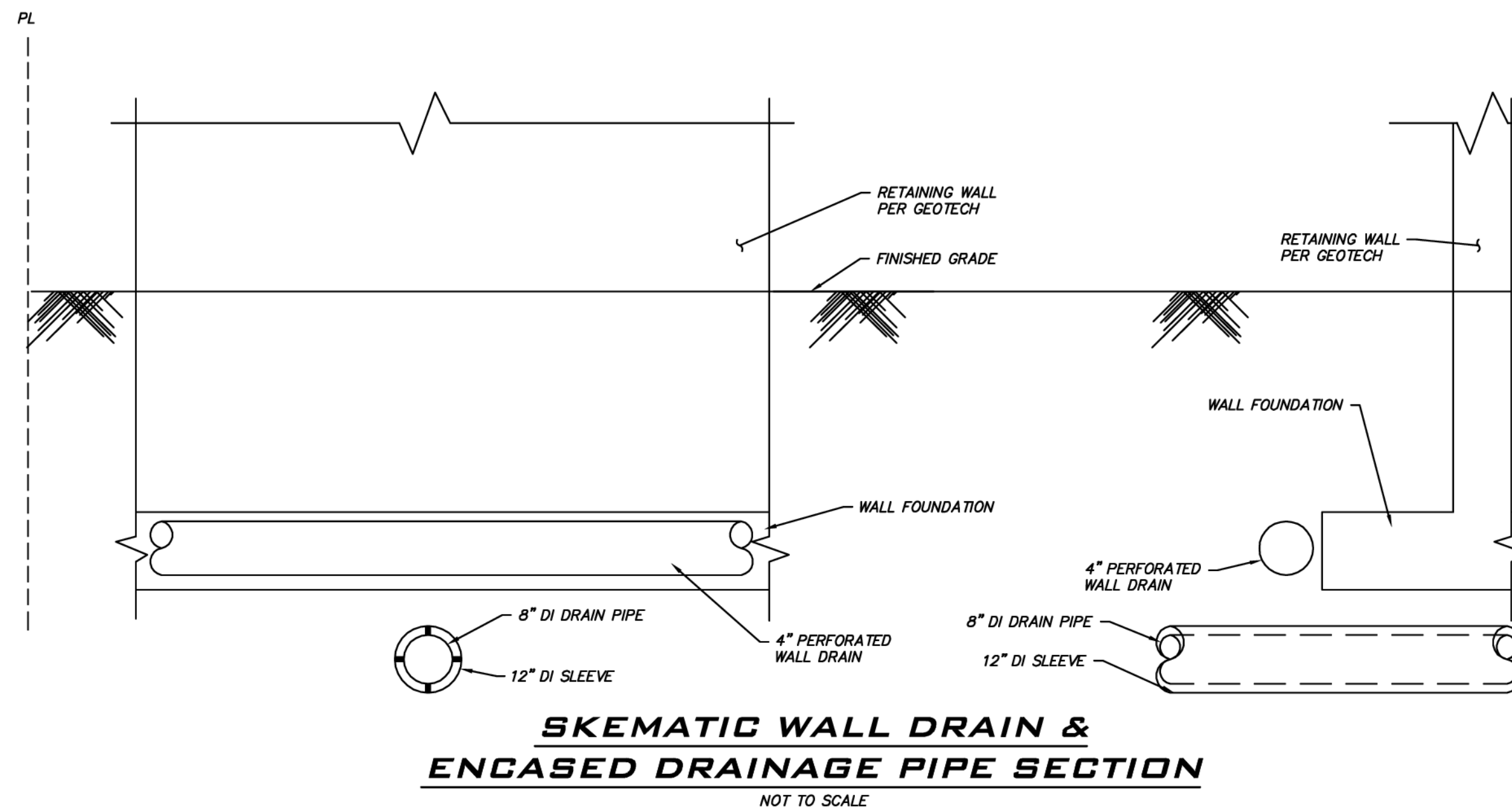
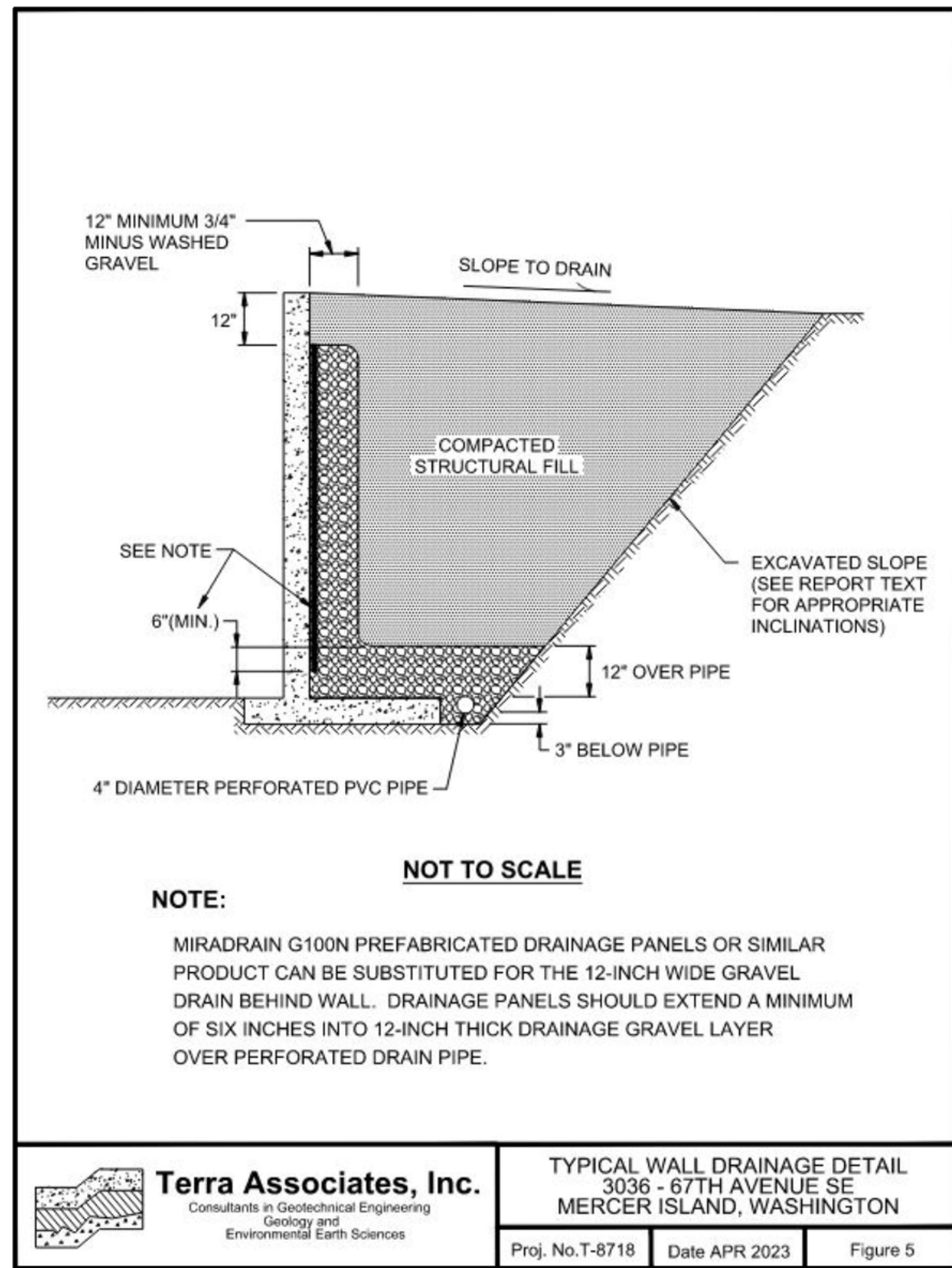
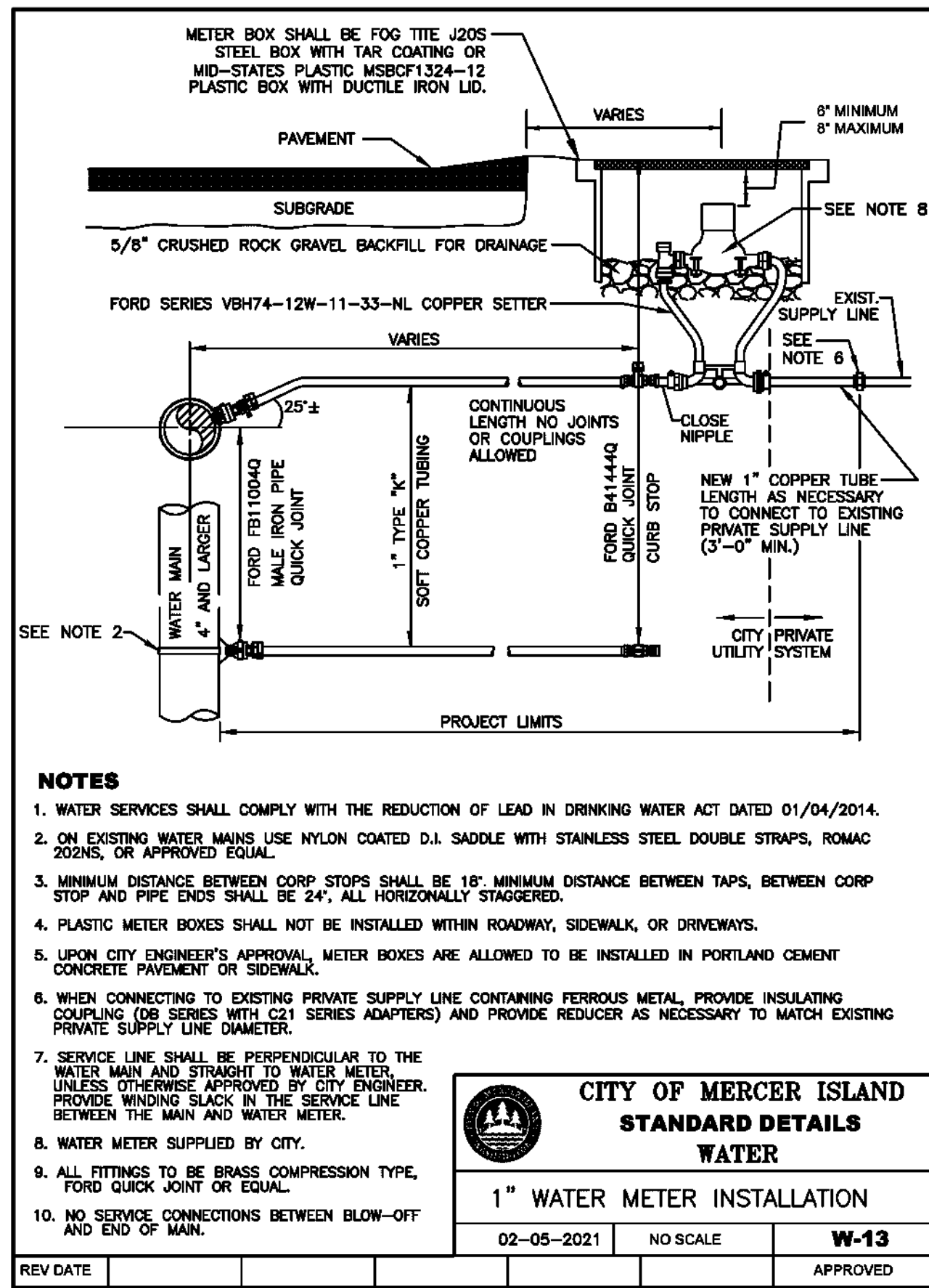
JOB NUMBER:

22-042

SHEET NAME:

TG-01

SHT **7** OF **9**



EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

ATWELL

25 CENTRAL WAY, SUITE 400,
 KIRKLAND, WA 98033
 P: 425.216.4051 F: 425.216.4052
 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER:
 YANNICK METS, PE

PROJECT ENGINEER:
 ALI RAMEZANI, PE

DESIGNER:
 CHRISTOPHER WSCOMB

ISSUE DATE:
 10/11/2023

NO	DATE	BY	REVISIONS

DETAILS

3036 67TH AVENUE SE

SITE PLAN

PARCEL 2174501025

CITY OF MERCER ISLAND WASHINGTON

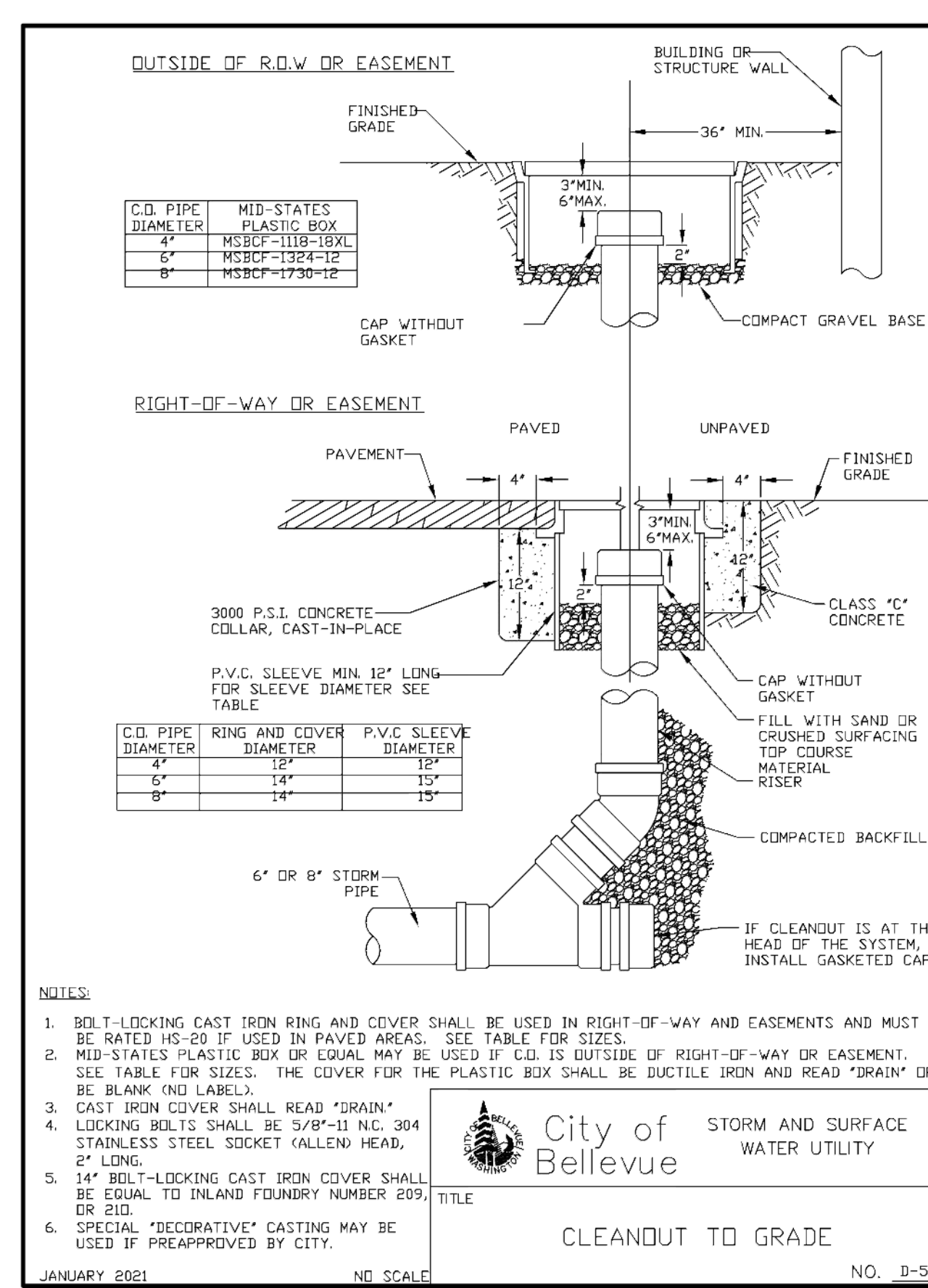
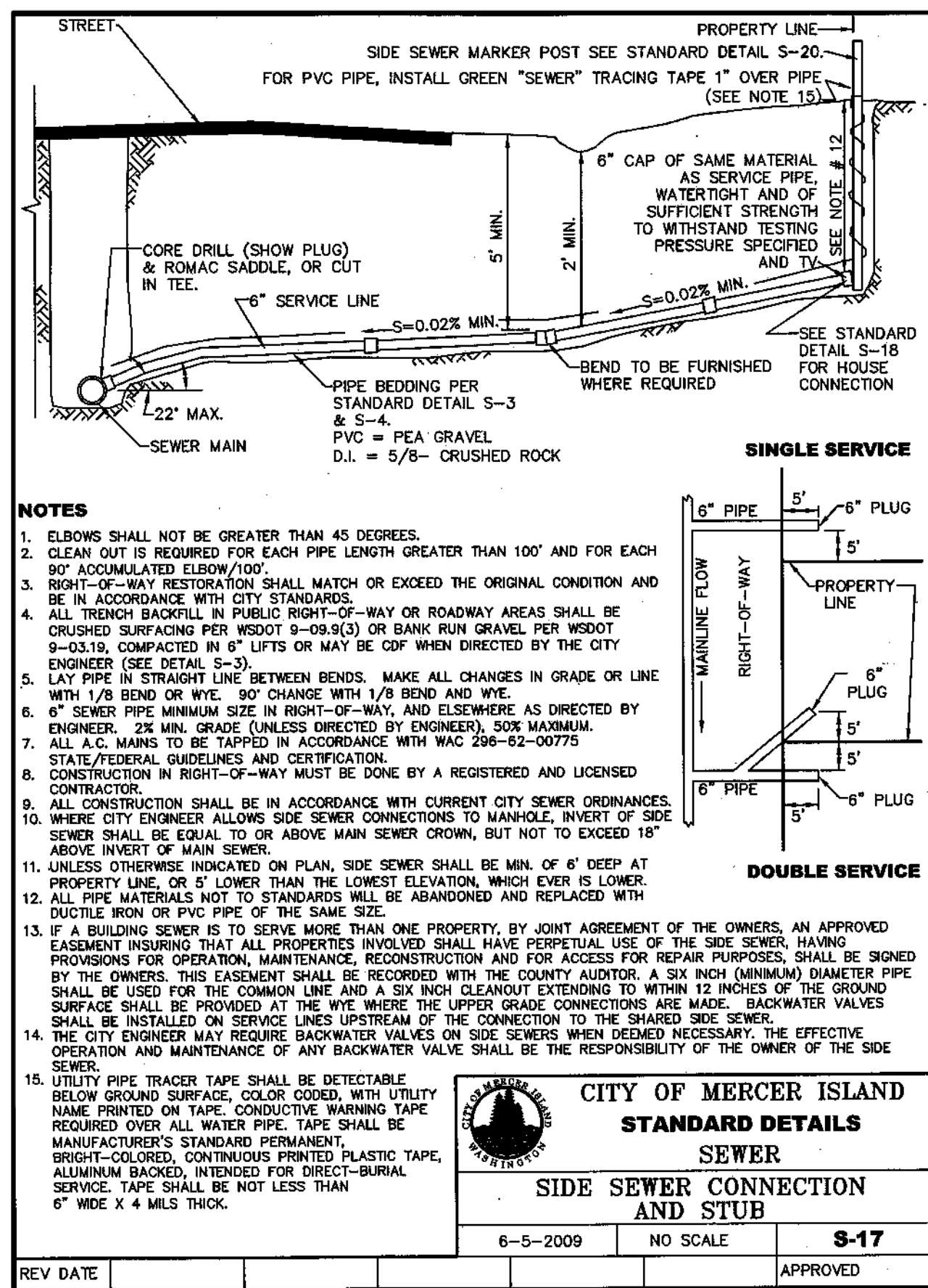
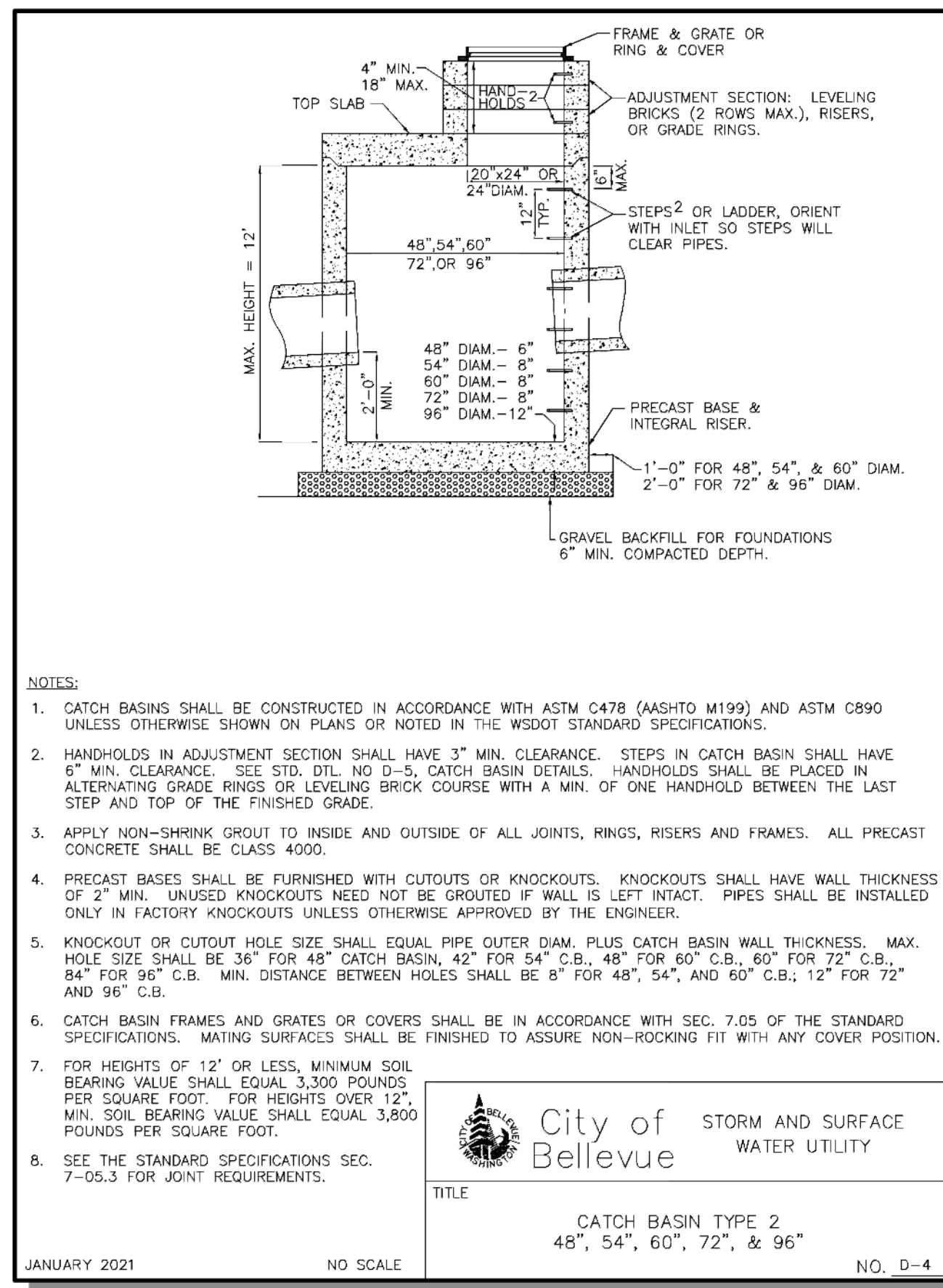
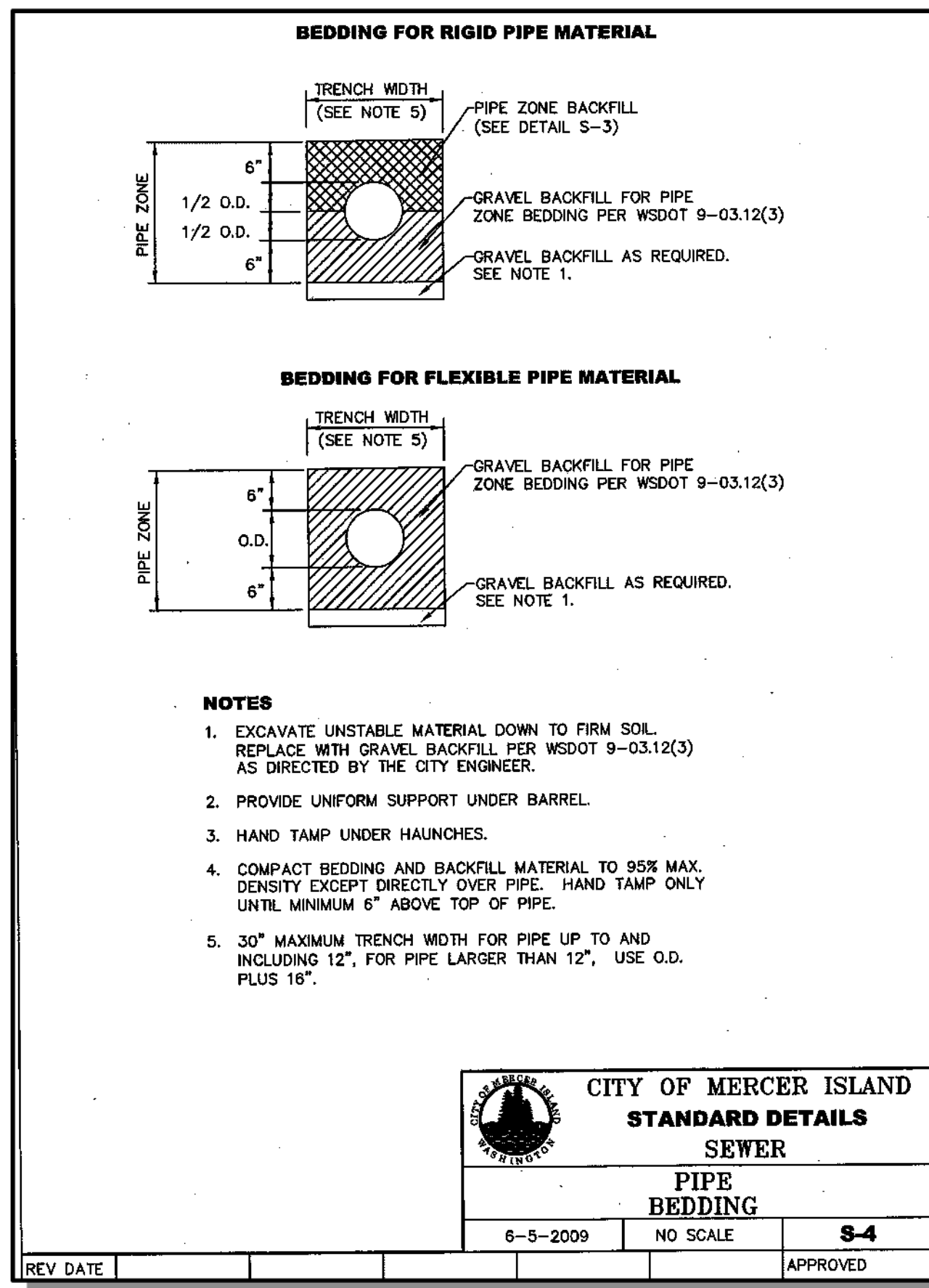
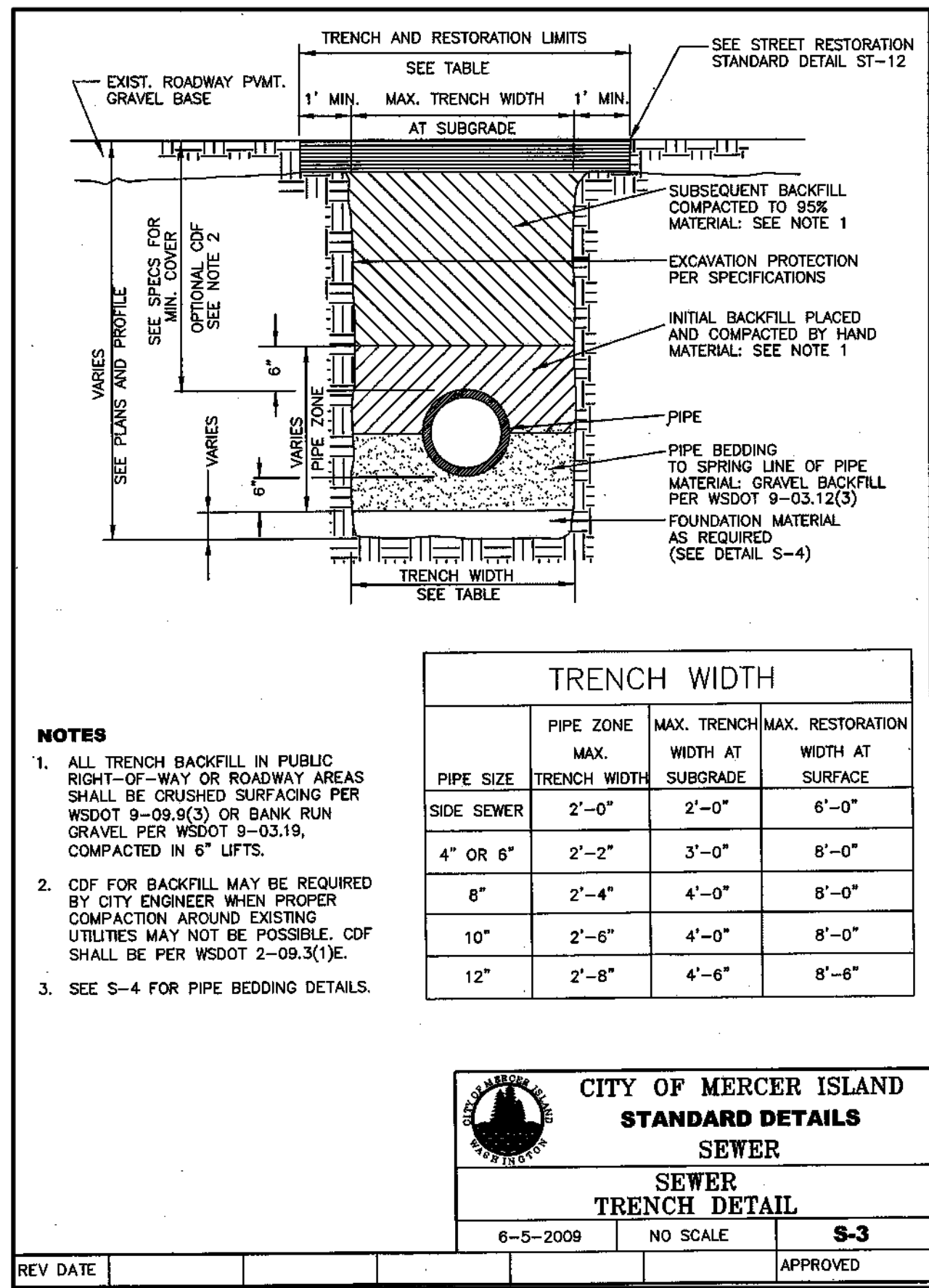
YANNICK METS
 STATE OF WASHINGTON
 REGISTERED PROFESSIONAL ENGINEER
 56308

10/11/23

JOB NUMBER:
22-042

SHEET NAME:
DT-01

SHT **8** OF **9**



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4032
WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER: YANNICK METS, PE

PROJECT ENGINEER: ALI RAMEZANI, PE

DESIGNER: CHRISTOPHER WISCOMB

ISSUE DATE: 10/11/2023

NO	DATE	BY	REVISIONS

DETAILS
3036 67TH AVENUE SE
SITE PLAN
PARCEL 2174501025
CITY OF MERCER ISLAND WASHINGTON

10/11/23

JOB NUMBER: 22-042

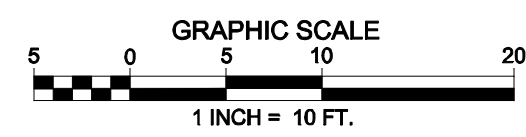
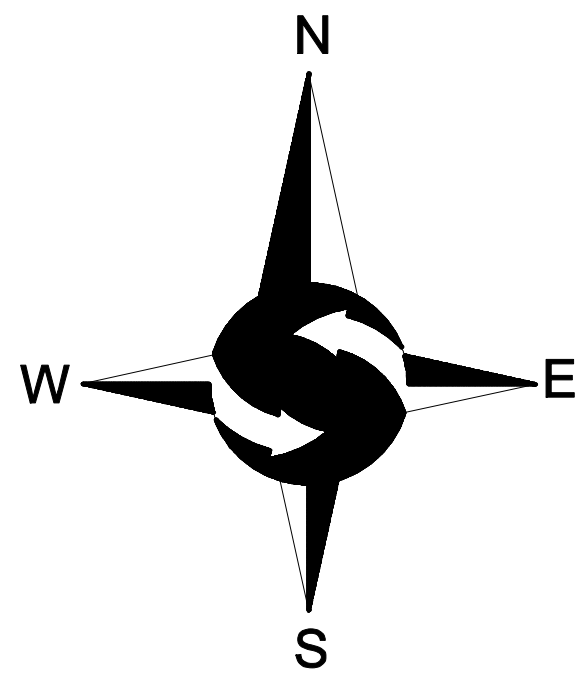
SHEET NAME: DT-02

SHT 9 OF 9

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

22a34
 Oct 11, 2023 - 3:13pm - User: ccouch
 E:\Projects\22042\DWG\SitePlan\22042021.dwg



LEGEND

- | | |
|--|--------------------------|
| ○ FOUND REBAR AS DESCRIBED | —OHP— OVERHEAD POWER |
| ⊗ SET MAG NAIL AS DESCRIBED | —OHU— OVERHEAD UTILITIES |
| ● SET 5/8" X 24" IRON ROD
W/1" YELLOW PLASTIC CAP | —□— WOOD FENCE |
| ⊠ POWER METER | ▬ CONCRETE WALL |
| ⊙ UTILITY POLE | — — WIRE FENCE |
| ⊞ CATCH BASIN | ▨ TIMBER WALL |
| ⊠ MAILBOX | ▨ ROCKERY |
| ⊙ SANITARY SEWER MANHOLE | ▨ ASPHALT SURFACE |
| ⊙ WATER VALVE | ▨ CONCRETE SURFACE |
| ⊙ FIRE HYDRANT | AP APPLE |
| ⊙ WATER METER | DF DOUGLAS FIR |
| ⊙ SIGN | DS DECIDUOUS |
| —SS— APPROXIMATE LOCATION SANITARY
SEWER LINE | PI PINE |
| —SD— APPROXIMATE LOCATION STORM
DRAIN LINE | * INDICATES MULTI-TRUNK |
| —W— APPROXIMATE LOCATION
UNDERGROUND WATER LINE | |

LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210728900027, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR: SITE SURVEYING, INC.
21923 NE 11TH ST
SAMMAMISH, WA 98074
PHONE: 425.298.4412

PROPERTY OWNER: WILLIAM E. BUCHAN, INC
3036 67TH AVENUE SE
MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: 217450-1025

PROJECT ADDRESS: 3036 67TH AVENUE SE
MERCER ISLAND, WA 98040

ZONING: R-8.4

JURISDICTION: CITY OF MERCER ISLAND

PARCEL ACREAGE: 12,500 S.F. (0.286 ACRES) AS SURVEYED

GENERAL NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS SS TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

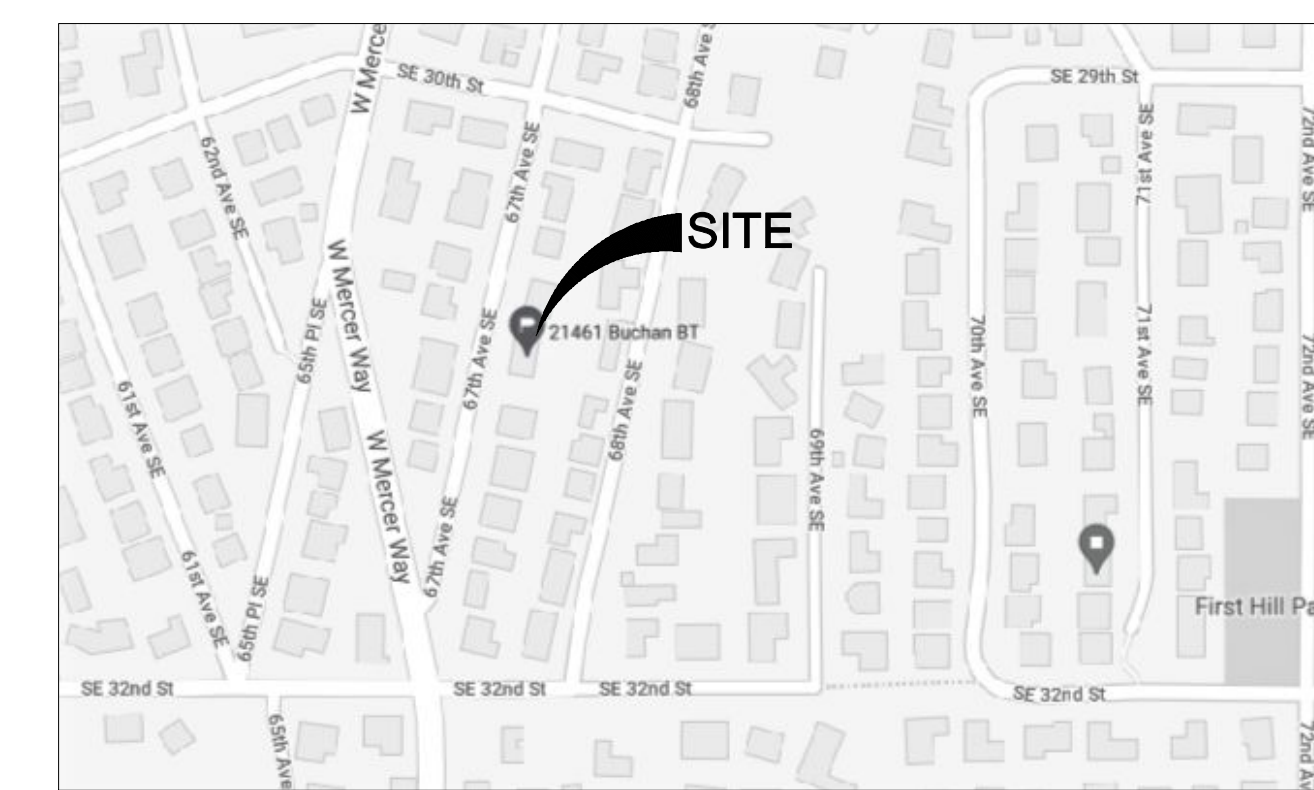
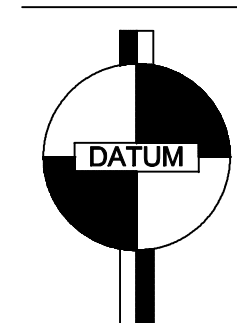
VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47748;
ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



VICINITY MAP
NTS

SW 1/4, NW 1/4, SEC 12, TWP 24N, RNG 4E, W.M.



DATE	REVISION	DRN

TOPOGRAPHIC SURVEY
WILLIAM E. BUCHAN, INC
3036 67TH AVENUE SE
MERCER ISLAND, WA 98040

PROJECT NO. 21-461
DRAWN BY: EFJ
CHECKED BY: TNW
DATE: 8/17/21
SHEET 1 OF 1

SYMBOLS AND LEGEND

FAN DIRECT VENT TO OUTSIDE -BATHROOMS/LAUNDRY 30 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.	T THERMOSTAT @ 5'-0" ABOVE FLOOR
WH WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1.	M MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A-1
R314.2.3 A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3	FURN FURNACE

FLOOR PLAN KEY NOTES

P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 0502.6.A. SHEET A-1.	P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 0502.6.B. SHEET A-1.
P-3 SAFETY GLAZING PER I.R.C. SECTION R308 A. WINDOWS WITHIN 18" OF FLOOR B. WINDOWS WITHIN A 24" ARC OF DOORS C. WINDOWS AT TUBS AND SHOWERS D. GLAZING IN DOORS E. WITHIN STAIRWELLS F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 0502.6 SHEET A-1.	

FLOOR PLAN KEY NOTES

P-4 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R315 AND DETAIL 12/D2. A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0". B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS. C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.5. D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.2. E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1. F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS. G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6. SEE DIV. 0502.6 SHEET A-1.

FLOOR PLAN KEY NOTES

P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 0502.0 SHEET A-1.	P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1.
P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER I.R.C. SECTION 307.2. SEE DIV. 05250 SHEET A-1.	P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 0502.1 SHEET A-1.	P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 0502.1 SHEET A-1.
P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 0502.2 SHEET A-1.	P-12 FLOOR MATERIAL BREAK LINE

FLOOR PLAN KEY NOTES

P-13 WALL LINE ABOVE	P-14 WALL LINE BELOW
P-15 FIREPLACE ASSEMBLY NOTES: A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 0502.2 SHEET A-1. B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 0502.2 SHEET A-1. C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 0502.2 AND 9 SHEET A-1. D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1003.3.	P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS
P-17 3" DIAMETER STEEL POST	

FLOOR PLAN KEY NOTES

P-18 42" GUARDRAIL PER I.R.C. SECTION R312 & TABLE R301.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R301.5.	P-19 1 1/2" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1003.3. SEE DIV. 15 SHEET A-1.
P-20 PLANT SHELF	P-21 UPPER AND LOWER LINEN CABINETS
P-22 SOFFIT AREA	P-23 INTEGRATED MAKE UP AIR
P-24 2x6 STUDS W/ R-21 INSUL. MIN.	

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

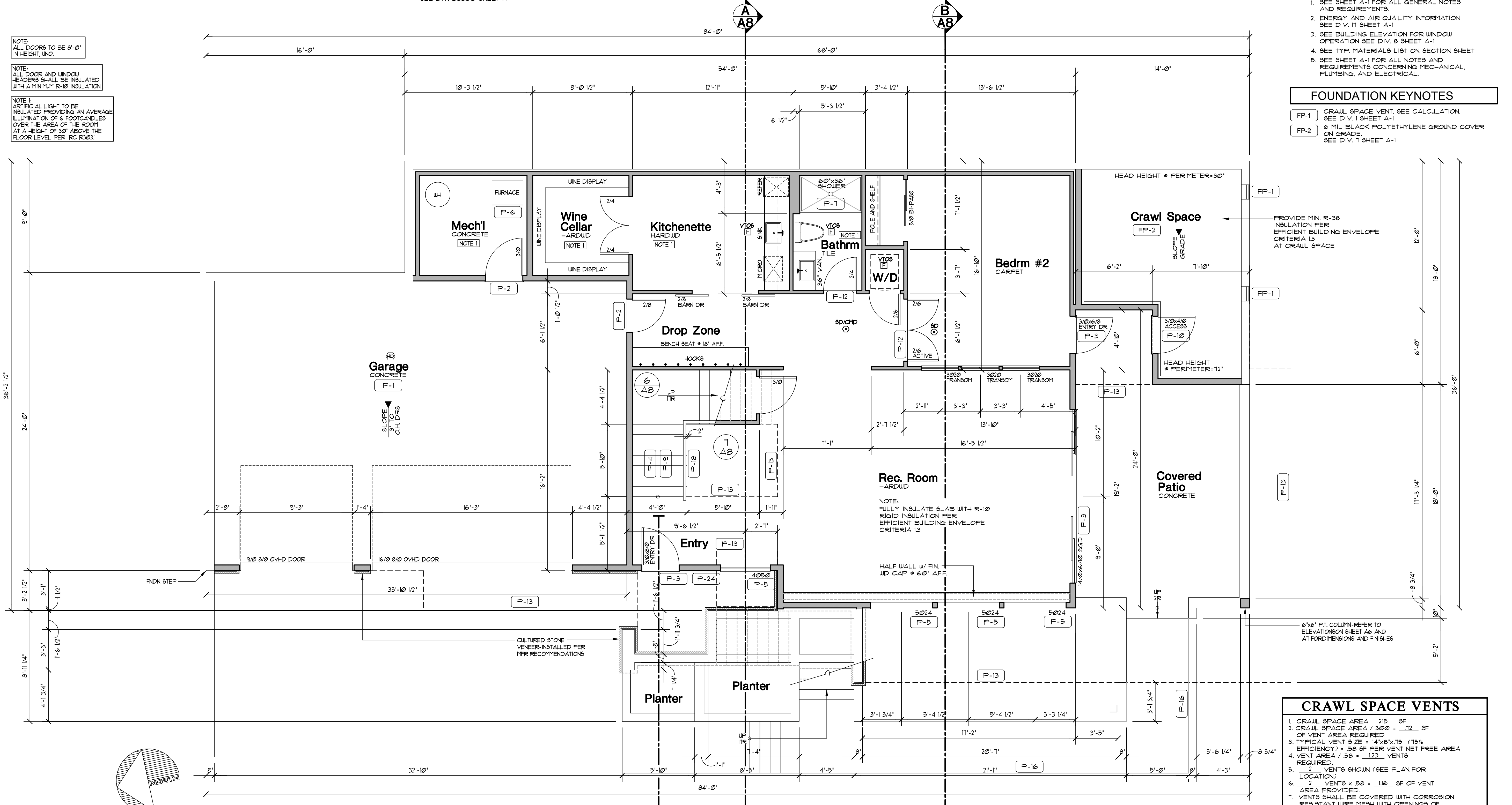
FOUNDATION KEYNOTES

FP-1 CRAWL SPACE VENT. SEE CALCULATION. SEE DIV. 1 SHEET A-1
FP-2 6 MIL BLACK POLYETHYLENE GROUND COVER ON GRADE. SEE DIV. 1 SHEET A-1

NOTE: ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE: ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.

NOTE: ARTIFICIAL LIGHT TO BE INSULATED PROVIDING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL PER IRC R303.1



CRAWL SPACE VENTS

- CRAWL SPACE AREA = 215 SF
- CRAWL SPACE AREA / 3000 = .072 SF OF VENT AREA REQUIRED
- TYPICAL VENT SIZE = 14"x8"x15" (75% EFFICIENCY) = 58 SF PER VENT NET FREE AREA
- VENT AREA / 58 = 1.23 VENTS REQUIRED
- 2 VENTS SHOWN (SEE PLAN FOR LOCATION)
- 2 VENTS x 58 = 116 SF OF VENT AREA PROVIDED
- VENTS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/4" MAX.
- VENTS LOCATED IN RIM JOIST MUST BE PERMANENTLY BAFFLED. USE C 502.1.4.1

LOWER FLOOR PLAN

Scale 1/4"=1'-0"

APPROVED	DATE	DESCRIPTION
8/1/22	REVISION	PERMIT SET
8/1/23	REVISION	JURISDICTIONAL COMMENTS
8/25/23	REVISION	JURISDICTIONAL COMMENTS
10/5/23	REVISION	JURISDICTIONAL COMMENTS-CLOSED

Buchan Homes Westview Plan
Permit no. 2210-120 Mercer Island, WA
3036 67th Ave SE
THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
Forward Thinking Design Solutions For Your Environment
14311 SE 16th St
Bellevue, WA 98007
1-800-888-4517
www.kapichanplans.com

TITLE

JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET

A2

SYMBOLS AND LEGEND	
FAN - DIRECT VENT TO OUTSIDE -BATHROOMS/LAUNDRY 50 CFM MIN. -KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.	THERMOSTAT @ 5'0" ABOVE FLOOR
WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1.	MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A-1
R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3	FURN

FLOOR PLAN KEY NOTES	
P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 01002.6.A. SHEET A-1.	P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 01002.6.B. SHEET A-1.
P-3 SAFETY GLAZING PER I.R.C. SECTION R308 A. WINDOWS WITHIN 18" OF FLOOR B. WINDOWS WITHIN A 24" ARC OF DOORS C. WINDOWS AT TUBS AND SHOWERS D. GLAZING IN DOORS E. WITHIN STAIRWELLS F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 08002.6 SHEET A-1.	

FLOOR PLAN KEY NOTES	
P-4 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R301.5 AND DETAIL 12/D2. A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0". B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS. C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.1. D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.11. E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1. F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS. G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6. SEE DIV. 01002.6 SHEET A-1.	

FLOOR PLAN KEY NOTES	
P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 08000 SHEET A-1.	P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1.
P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER I.R.C. SECTION 307.2. SEE DIV. 09250 SHEET A-1.	P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R301.5. SEE DIV. 01002.1 SHEET A-1.	P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01002.1 SHEET A-1.
P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01002.2 SHEET A-1.	P-12 FLOOR MATERIAL BREAK LINE

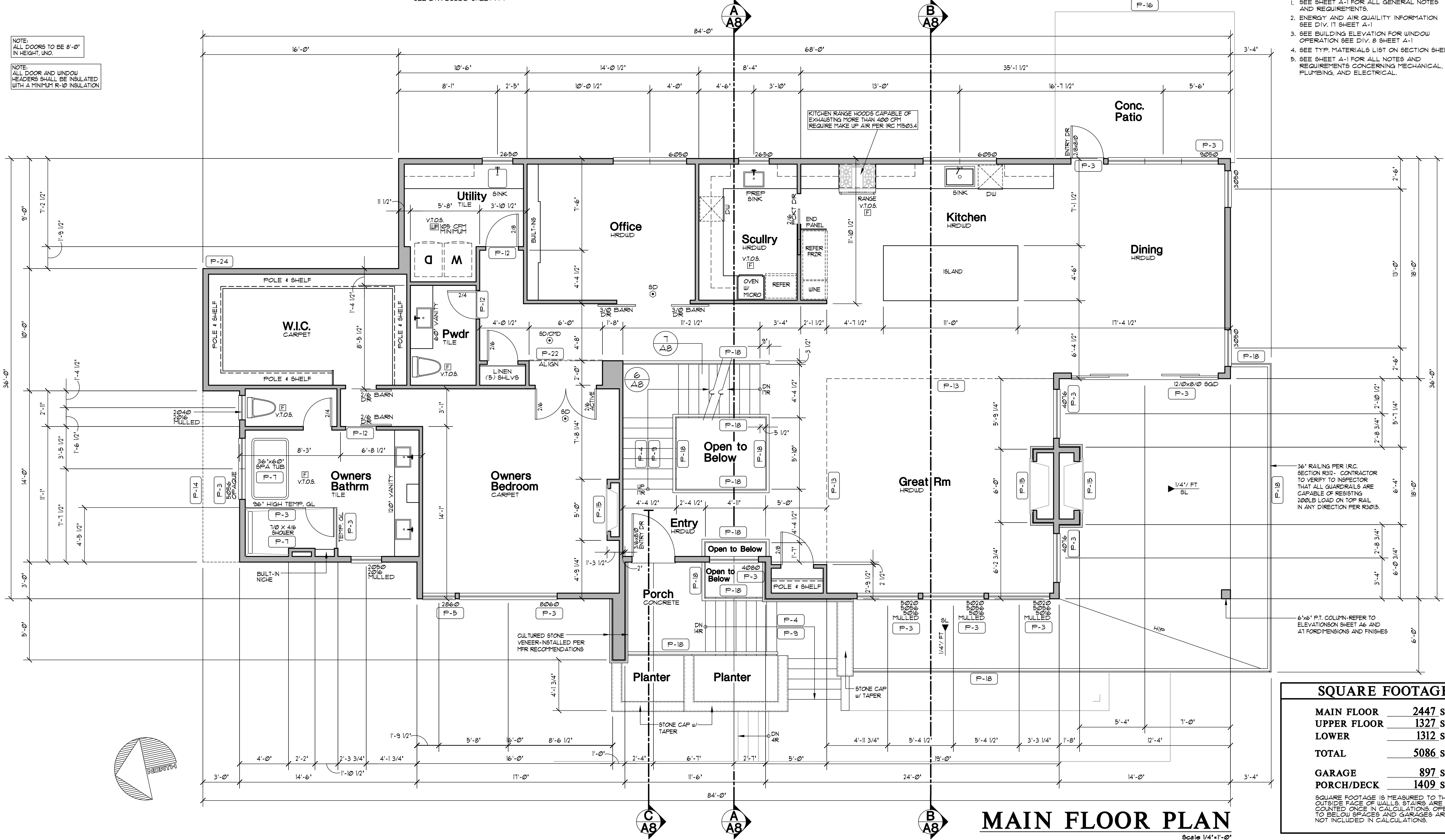
FLOOR PLAN KEY NOTES	
P-13 WALL LINE ABOVE	P-14 WALL LINE BELOW
FIREPLACE ASSEMBLY NOTES: A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.2 SHEET A-1. B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.2 SHEET A-1. C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01002.2 AND 9 SHEET A-1. D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1002.13.	
P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS	P-17 3" DIAMETER STEEL POST

FLOOR PLAN KEY NOTES	
P-18 42" GUARDRAIL PER I.R.C. SECTION R312.4 TABLE R301.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R301.5.	P-19 18" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1002.3. SEE DIV. 15 SHEET A-1.
P-20 PLANT SHELF	P-21 UPPER AND LOWER LINEN CABINETS
P-22 SOFFIT AREA	P-23 INTEGRATED MAKE UP AIR
P-24 2x6 STUDS W/ R-21 INSUL. MIN.	

GENERAL PLAN NOTES	
1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.	2. ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1.
3. SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1.	4. SEE TYP. MATERIALS LIST ON SECTION SHEET
5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.	

NOTE: ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE: ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.

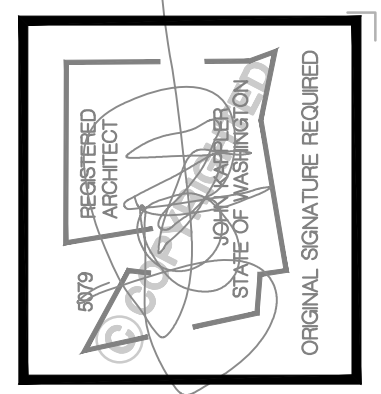


SQUARE FOOTAGE	
MAIN FLOOR	2447 SF
UPPER FLOOR	1327 SF
LOWER	1312 SF
TOTAL	5086 SF
GARAGE	897 SF
PORCH/DECK	1409 SF

SQUARE FOOTAGE IS MEASURED TO THE OUTSIDE FACE OF WALLS. STAIRS ARE COUNTED ONCE IN CALCULATIONS. OPEN TO BELOW SPACES AND GARAGES ARE NOT INCLUDED IN CALCULATIONS.

MAIN FLOOR PLAN

Scale 1/4"=1'-0"



Date	By	Description
10/12/22	REV	PERMIT SET
8/17/23	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS
10/5/23	REV	JURISDICTIONAL COMMENTS-CLOSED

Buchan Homes
Westview Plan
 Permit no. 2210-120
 Mercer Island, WA
 3036 67th Ave SE
 THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
 Forward Thinking Design Solutions For Your Environment
 14311 SE 16th St
 Bellevue, WA 98007
 1-800-888-4517
 www.kapichanhomes.com

TITLE
JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET
A3

SYMBOLS AND LEGEND	
	FAN - DIRECT VENT TO OUTSIDE - BATHROOMS/LAUNDRY 50 CFM MIN. - KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION R1503.6.
	WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR SYSTEM DUCTS PER SECTION M1505.4.1.
	R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3.
	THERMOSTAT @ 5'-0" ABOVE FLOOR
	110V SMOKE ALARM PER IRC, R314 WITH BATTERY BACKUP INTERCONNECTED USE A COMBINATION SMOKE/CARBON MONOXIDE ALARM WHEN NOTED
	MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A1
	FURN
	PROVIDE 6" DIAMETER FRESH AIR INTAKE FROM OUTSIDE TO RETURN AIR FLENUM AT FURNACE WITH MOTORIZED FLOW DAMPERS.
	PROVIDE THERMAL EXPANSION TANK AT WATER HEATER
	STRAIP WATER HEATER TO FRAMING TOP AND BOTTOM.
	PROVIDE PRESSURE RELIEF LINE PLUMBED TO OUTSIDE.

FLOOR PLAN KEY NOTES	
P-1	OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 01022.6.A. SHEET A-1.
P-2	1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 01022.6.B. SHEET A-1.
P-3	SAFETY GLAZING PER IRC, SECTION R308 A. WINDOWS WITHIN 18" OF FLOOR B. WINDOWS WITHIN A 24" ARC OF DOORS C. WINDOWS AT TUBS AND SHOWERS D. GLAZING IN DOORS E. WITHIN STAIRWELLS F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE SEE DIV. 01022.6 SHEET A-1.

FLOOR PLAN KEY NOTES	
P-4	STAIR ASSEMBLY NOTES: PER IRC, SECTION R315 AND DETAIL 12/D2. A. HEADROOM MIN. 6'-8". WIDTH MIN. 3'-0". B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS. C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER IRC, TABLE R302.5. D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER IRC, SECTION R302.11. E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER IRC, SECTION R302.1. F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS. G. PROVIDE STAIRWAY ILLUMINATION PER IRC, SECTION R302.6. SEE DIV. 01022.6 SHEET A-1.

FLOOR PLAN KEY NOTES	
P-5	EGRESS WINDOW PER IRC, SECTION R310 SEE DIV. 08600 SHEET A-1.
P-6	IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1.
P-7	COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER IRC, SECTION 3012. SEE DIV. 09250 SHEET A-1.
P-8	(2) LAYERS OF FLOOR SHEATHING OVER FRAMING.
P-9	3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER IRC, SECTION R311.8. SEE DIV. 01022.1 SHEET A-1.
P-10	36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01022.1 SHEET A-1.
P-11	22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01022.2 SHEET A-1.
P-12	FLOOR MATERIAL BREAK LINE

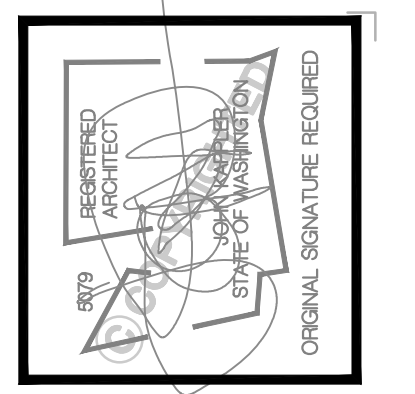
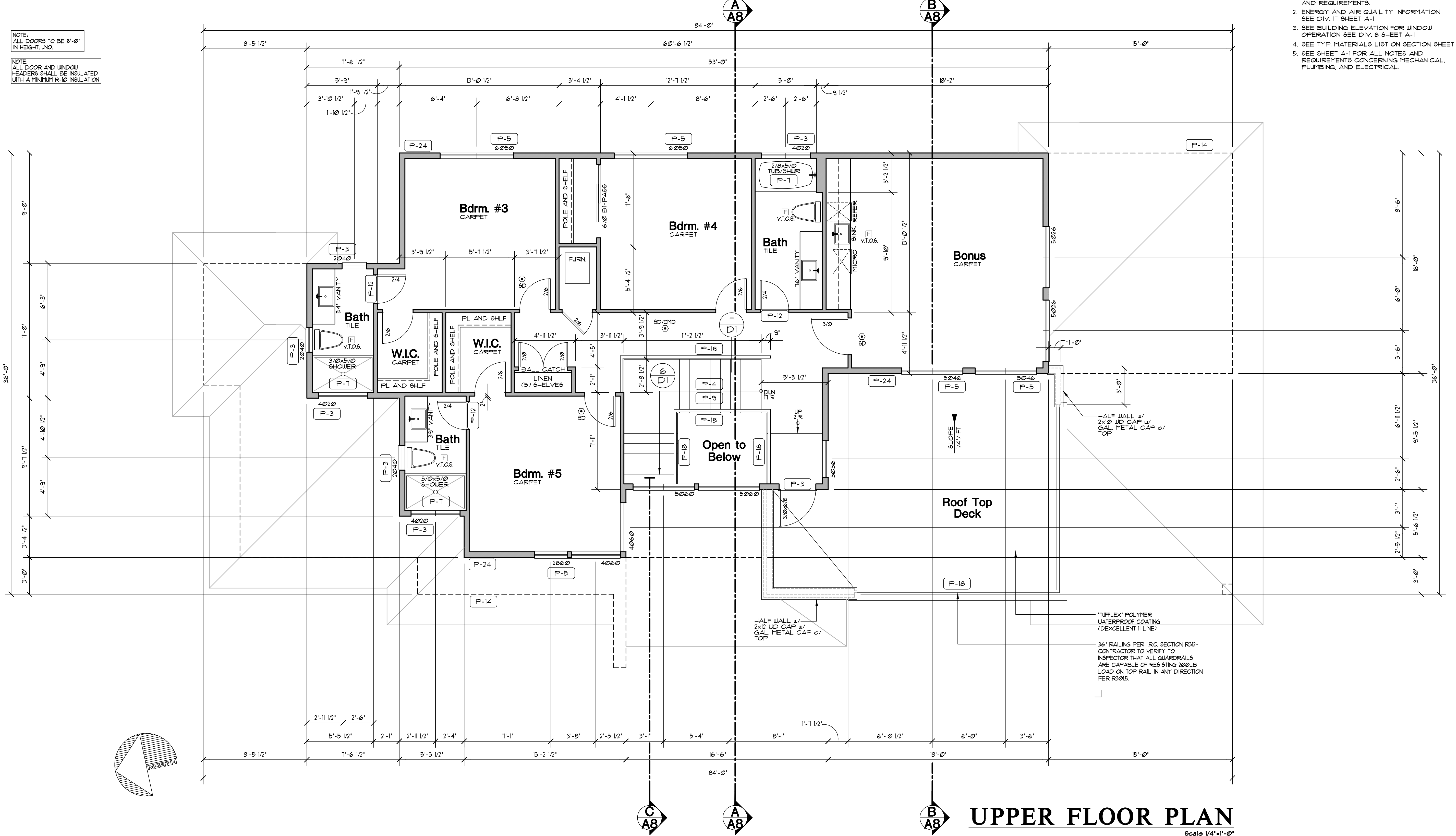
FLOOR PLAN KEY NOTES	
P-13	WALL LINE ABOVE
P-14	WALL LINE BELOW
P-15	FIREPLACE ASSEMBLY NOTES: A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO IRC. REQUIREMENTS. SEE DIV. 01022.8 SHEET A-1 B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO IRC. REQUIREMENTS. SEE DIV. 01022.8 SHEET A-1 C. HEARTH SHALL CONFORM TO IRC. REQUIREMENTS. SEE DIV. 01022.8 AND 9 SHEET A-1 D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER IRC, SECTION R1002.13.
P-16	SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS
P-17	3" DIAMETER STEEL POST

FLOOR PLAN KEY NOTES	
P-18	42" GUARDRAIL PER IRC, SECTION R312.4 TABLE R302.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R302.5.
P-19	8" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER IRC, SECTION R1002.3. SEE DIV. 15 SHEET A-1.
P-20	PLANT SHELF
P-21	UPPER AND LOWER LINEN CABINETS
P-22	SOFFIT AREA
P-23	INTEGRATED MAKE UP AIR
P-24	2x6 STUDS W/ R-21 INSUL. MIN.

GENERAL PLAN NOTES	
1.	SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
2.	ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1.
3.	SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1.
4.	SEE TYP. MATERIALS LIST ON SECTION SHEET
5.	SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

NOTE:
ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE:
ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION



Date	By	Description
10/2/22	REV	PERMIT SET
8/17/23	REV	JURISDICTIONAL COMMENTS
8/25/23	REV	JURISDICTIONAL COMMENTS
10/5/23	REV	JURISDICTIONAL COMMENTS-CLOSED

Buchan Homes
Westview Plan
 Permit no. 2210-120
 Mercer Island, WA
 3036 67th Ave SE
 THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
 Forward Thinking Design Solutions For Your Environment
 14311 SE 16th St
 Bellevue, WA 98007
 1-800-888-4517
 www.kapichanplans.com

TITLE
JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET
A4

UPPER FLOOR PLAN
 Scale 1/4"=1'-0"

A ROOF VENT CALCULATION

TOTAL ROOF AREA	143	SF/	150	=	969	SF OF VENT AREA REQ
4	ROOF JACKS AT 38 SQ. IN. EACH	=	152	SQ. IN.	=	105 SF
197	L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F.	=	1300	SQ. IN.	=	9 SF
TOTAL SF OF VENTILATION PROVIDED						= 131 SF

B ROOF VENT CALCULATION

TOTAL ROOF AREA	325	SF/	150	=	216	SF OF VENT AREA REQ
0.00	ROOF JACKS AT 38 SQ. IN. EACH	=	0.00	SQ. IN.	=	0.00 SF
74	L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F.	=	488	SQ. IN.	=	339 SF
TOTAL SF OF VENTILATION PROVIDED						= 339 SF

C ROOF VENT CALCULATION

TOTAL ROOF AREA	540	SF/	150	=	36	SF OF VENT AREA REQ
2	ROOF JACKS AT 38 SQ. IN. EACH	=	76	SQ. IN.	=	53 SF
72	L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F.	=	475	SQ. IN.	=	33 SF
TOTAL SF OF VENTILATION PROVIDED						= 383 SF

D ROOF VENT CALCULATION

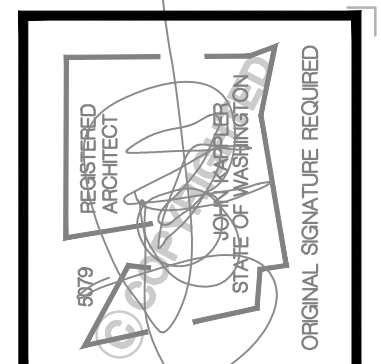
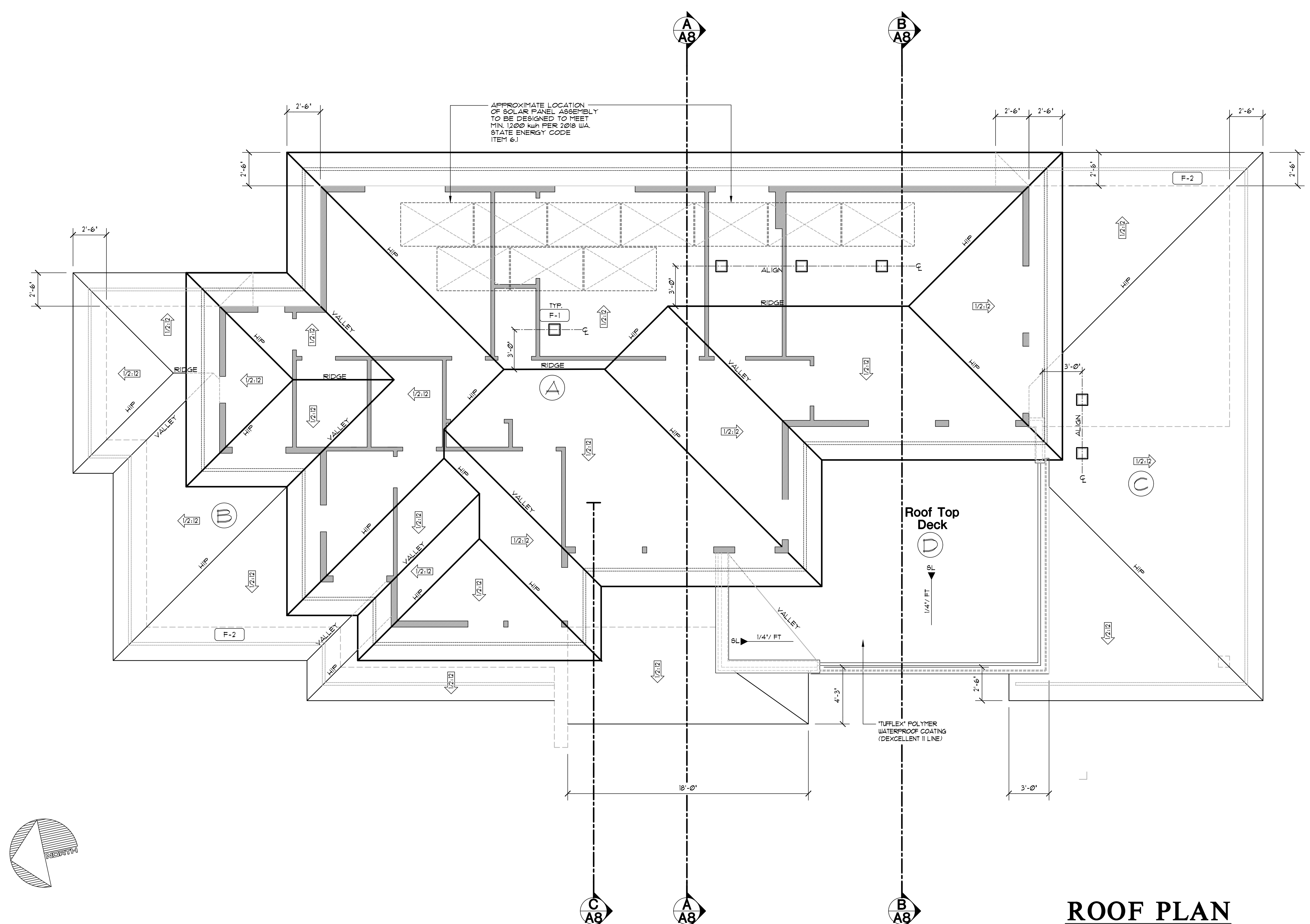
TOTAL ROOF AREA	83	SF/	150	=	55	SF OF VENT AREA REQ
0.00	ROOF JACKS AT 38 SQ. IN. EACH	=	0.00	SQ. IN.	=	0.00 SF
33	L.F. OF EAVE VENTS AT 3.3 SQ. IN./L.F.	=	108	SQ. IN.	=	.76 SF
TOTAL SF OF VENTILATION PROVIDED						= .131 SF

GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. IT SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. B SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

ROOF PLAN KEY NOTES

- F-1 ATTIC SPACE VENT SEE CALCULATION SEE DIV. 01007.3.B SHEET A-1
- F-2 WALL LINE BELOW



Date	By	Description
10/12/22	REY	PERMIT SET
8/17/23	REY	JURISDICTIONAL COMMENTS
8/25/23	REY	JURISDICTIONAL COMMENTS
10/5/23	REY	JURISDICTIONAL COMMENTS-CLOUDED

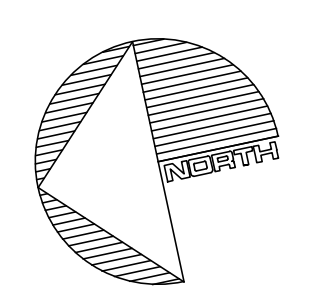
Buchan Homes Westview Plan
 Permit no. 2210-120 Mercer Island, WA
 3036 67th Ave SE
 THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
 Forward Thinking Design Solutions For Your Environment
 14311 SE 16th St
 Bellevue, WA 98007
 1-800-888-4517
 www.kapellbuchanplans.com

TITLE	
JOB NO.:	21076.21
STARTING NO.:	21076.05

SHEET
A5

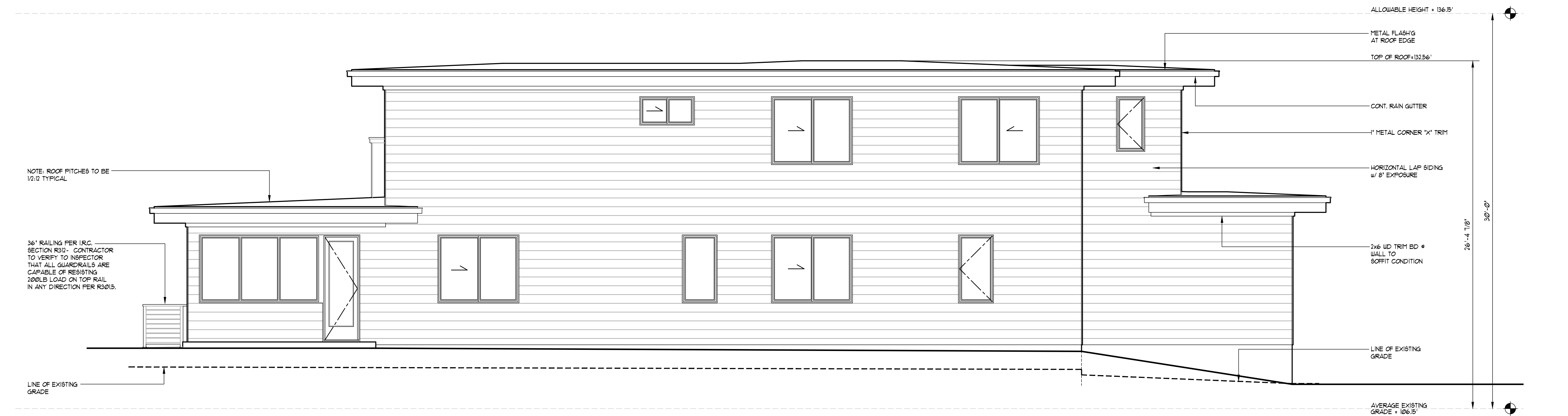
ROOF PLAN
 SCALE 1/4"=1'-0"





FRONT ELEVATION

Scale 1/4"=1'-0"



REAR ELEVATION

Scale 1/4"=1'-0"

TYPICAL BUILDING MATERIALS

ROOF CONSTRUCTION

ROOFING: (DIV. 7)
BUILDING PAPER: (DIV. 7)
SHEATHING: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7)
SOFFIT: (DIV. 7)
GWB: (DIV. 9)

SHINGLES (DIV. 01000.5)
3/4" BUILDING PAPER
7/16" O.S.B. OR EQUAL
PER PLAN
R-49 BLOWN-IN
1/2" RE-SAWN PLYWOOD
5/8" GWB

EXTERIOR WALL CONSTRUCTION

SIDING MATERIAL: (DIV. 7)
BUILDING WRAP: (DIV. 7)
SHEATHING: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7)
GWB: (DIV. 9)

WOOD SIDING (DIV. 01000.5)
1/2" BUILDING PAPER
1/2" CDX PLYWOOD OR EQUAL
2 X 6 STUDS AT 16" OC
R-21 BATT W/ INTEGRAL
VAPOR BARRIER
1/2" GWB

FLOOR CONSTRUCTION

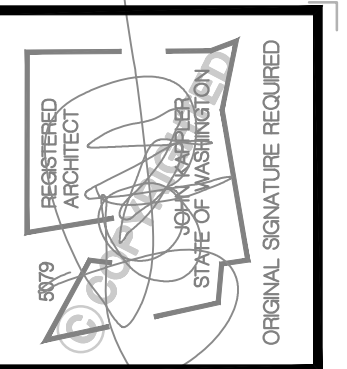
FLOORING: (DIV. 9)
SUBFLOOR: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7)
SOFFIT: (DIV. 7)

FINISH PER PLANS (DIV. 01000.5)
3/4" TAG (PLYWD, COMPLY, OR BQ)
PER PLANS
R-30 BATT
1/2" RE-SAWN PLYWOOD

TRIM:(DIV. 6)

WINDOW:
(WITH NO BRICK MOLD)
CORNER BOARDS:
FASCIA:

HEAD: N/A
JAMB: N/A
SILL: N/A
INSIDE: 2x2
OUTSIDE: METAL 7x
2x8 UNO



Date	By	Description
07/02/22	REV	PERMIT SET
07/02/22	REV	JURISDICTIONAL COMMENTS
02/22/23	REV	JURISDICTIONAL COMMENTS-CLOSED
02/22/23	REV	JURISDICTIONAL COMMENTS-CLOSED

Buchan Homes
Westview Plan
Permit no. 2210-120
Mercer Island, WA
3036 67th Ave SE
THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
Forward Thinking Design Solutions For Your Environment
14311 SE 16th St.
Bellevue, WA 98007
1-800-888-4517
www.kapplerhomeplans.com

TITLE
JOB NO.: 21076.21
STARTING NO.: 21076.05

SHEET
A6

2018 Energy Credits

Glazing Schedule

Window, Skylight and Door Schedule table with columns for Component, Ref, U-Factor, Glazing Area, and U-factor. Includes a summary table at the bottom.

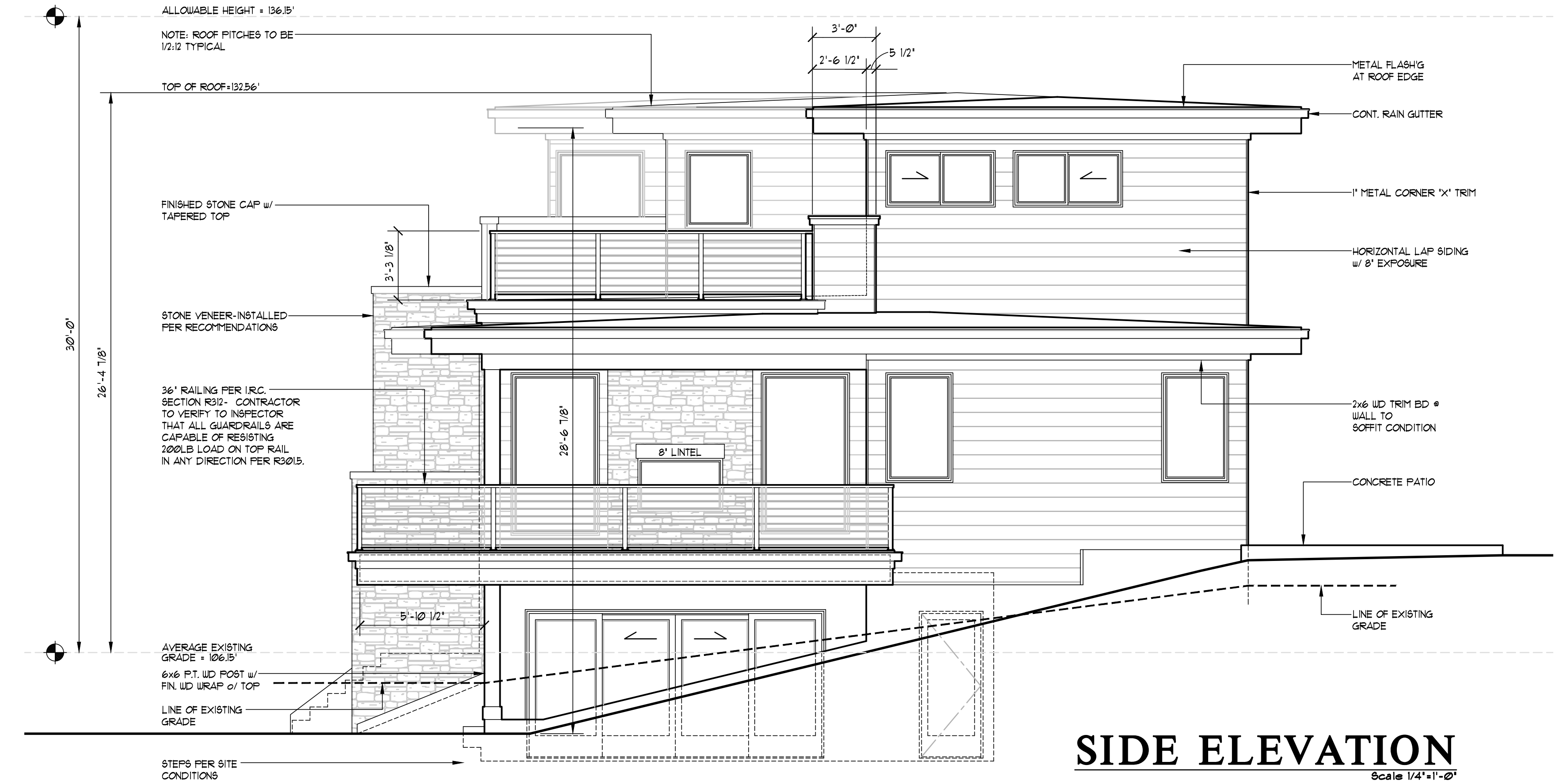
Prescriptive Compliance

2018 Washington State Energy Code - Residential Prescriptive Energy Code Compliance table with columns for Component, U-Factor, and U-factor. Includes a summary table at the bottom.

Heat Sizing Worksheet

Heat Sizing Worksheet form with various input fields for building characteristics and heating system details.

2 HEAT PUMP 10 credits
EQUIPMENT LISTED IN TABLE C460.3(2) OR C460.3(3)
13 EFFICIENT BUILDING ENVELOPE 5 credits
VERTICAL PENETRATION MIN U-0.28
SLAB ON GRADE R-10 UNDER ENTIRE SLAB
35 HIGH EFFICIENCY HVAC EQUIPMENT 15 credits
AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM RFPF OF 14
42 HIGH EFFICIENCY HVAC DISTRIBUTION 10 credits
HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEMS
INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.1
LOCATED SYSTEM COMPONENTS IN CONDITIONED CRAWL
SPACES IS NOT PERMITTED UNDER THIS OPTION.
ELECTRICAL RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION.
DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 85 IS NOT PERMITTED UNDER THIS OPTION.



SIDE ELEVATION Scale 1/4"=1'-0"



SIDE ELEVATION Scale 1/4"=1'-0"

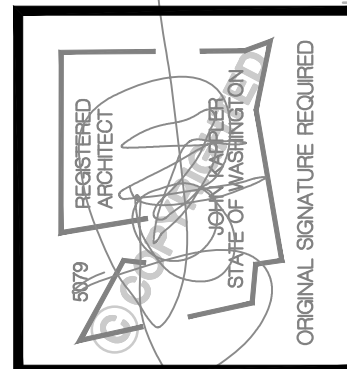


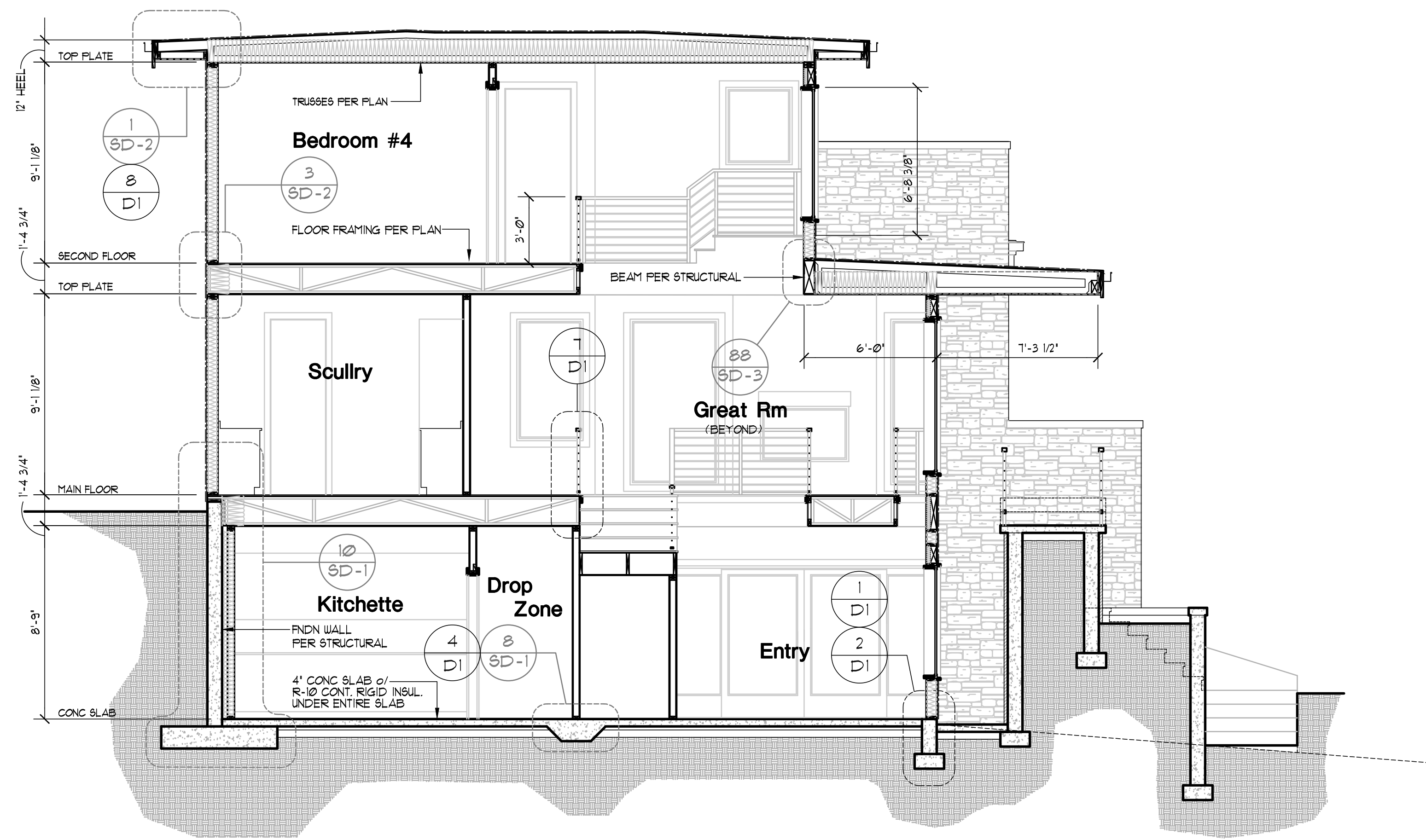
Table with columns for Date, By, and Description, showing revision history.

Buchan Homes Westview Plan
Permit no. 2210-120
Mercer Island, WA
3036 67th Ave SE
THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

ARCHITECTURAL INNOVATIONS, P.S.
Forward Thinking Design Solutions For Your Environment
14311 SE 16th St.
Bellevue, WA 98007
1-800-888-4517
www.kapplerhomeplans.com

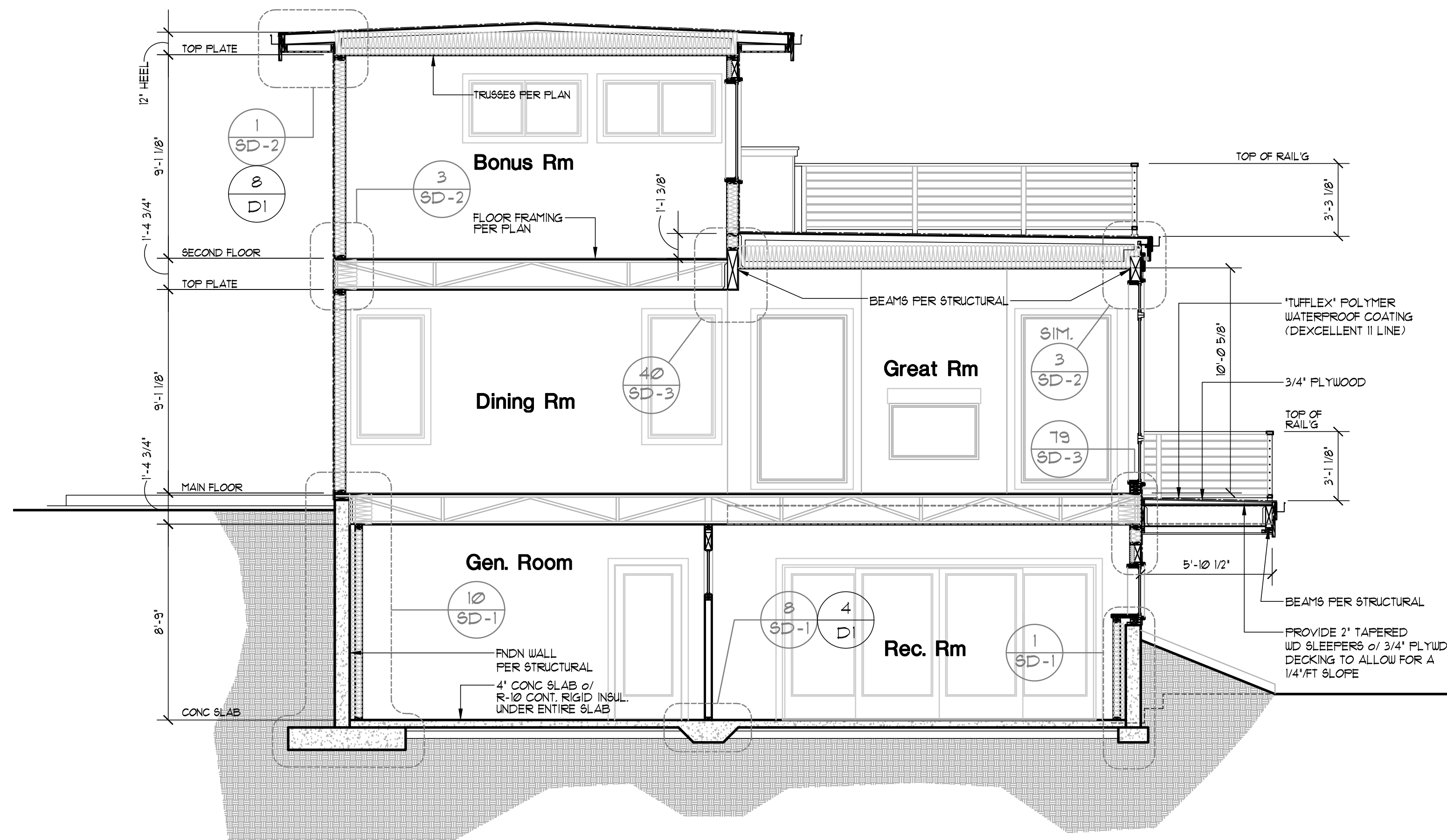
Table with columns for TITLE, JOB NO., and STARTING NO.

SHEET A7



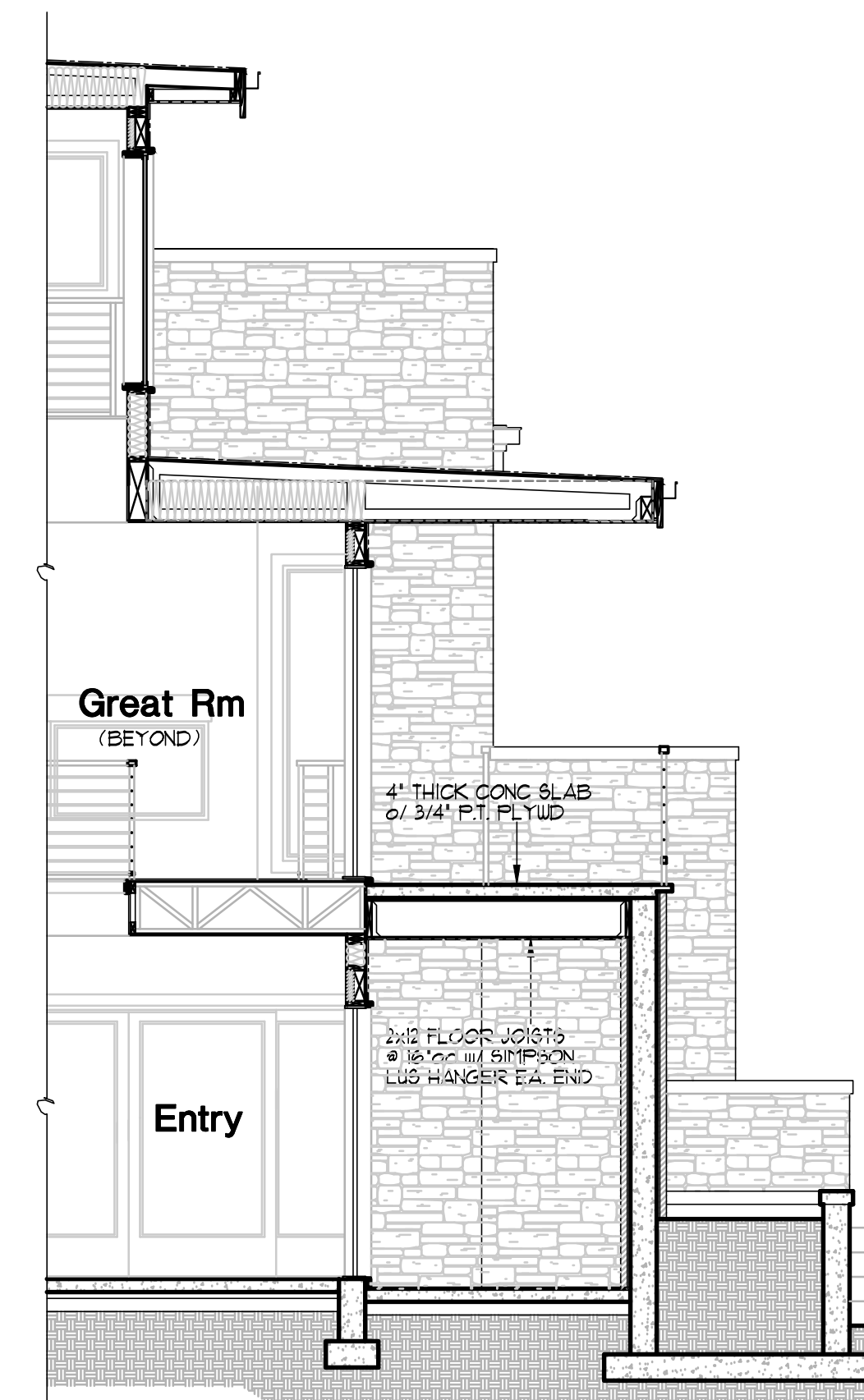
BUILDING SECTION A-A

Scale 1/4"=1'-0"



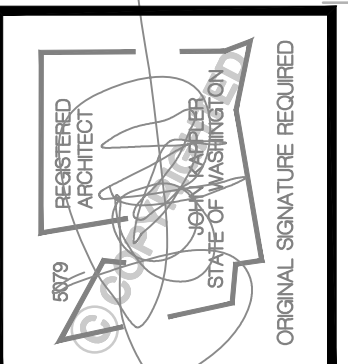
BUILDING SECTION B-B

Scale 1/4"=1'-0"



BUILDING SECTION C-C

Scale 1/4"=1'-0"



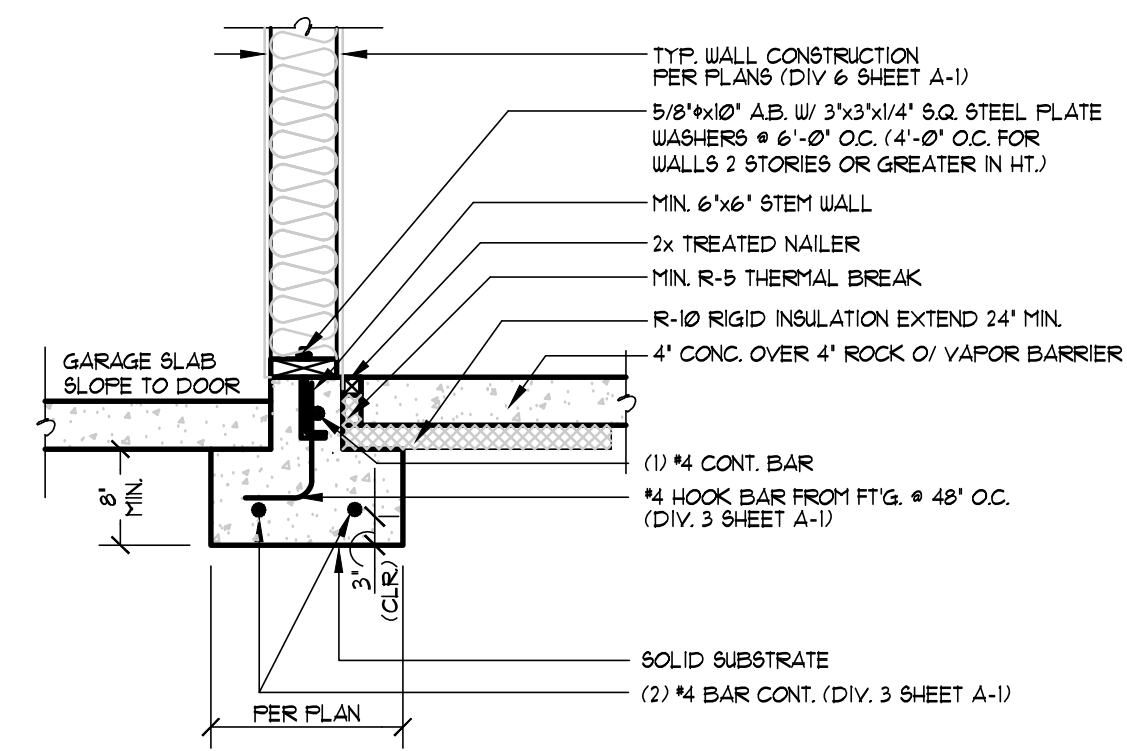
Date	By	Description
01/22/22	REV	PERMIT SET
07/23	REV	JURISDICTIONAL COMMENTS
02/25/23	REV	JURISDICTIONAL COMMENTS-CLOSED
03/23	REV	JURISDICTIONAL COMMENTS-CLOSED

Buchan Homes
Westview Plan
 Permit no. 2210-120
 Mercer Island, WA
 3036 67th Ave SE
 THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

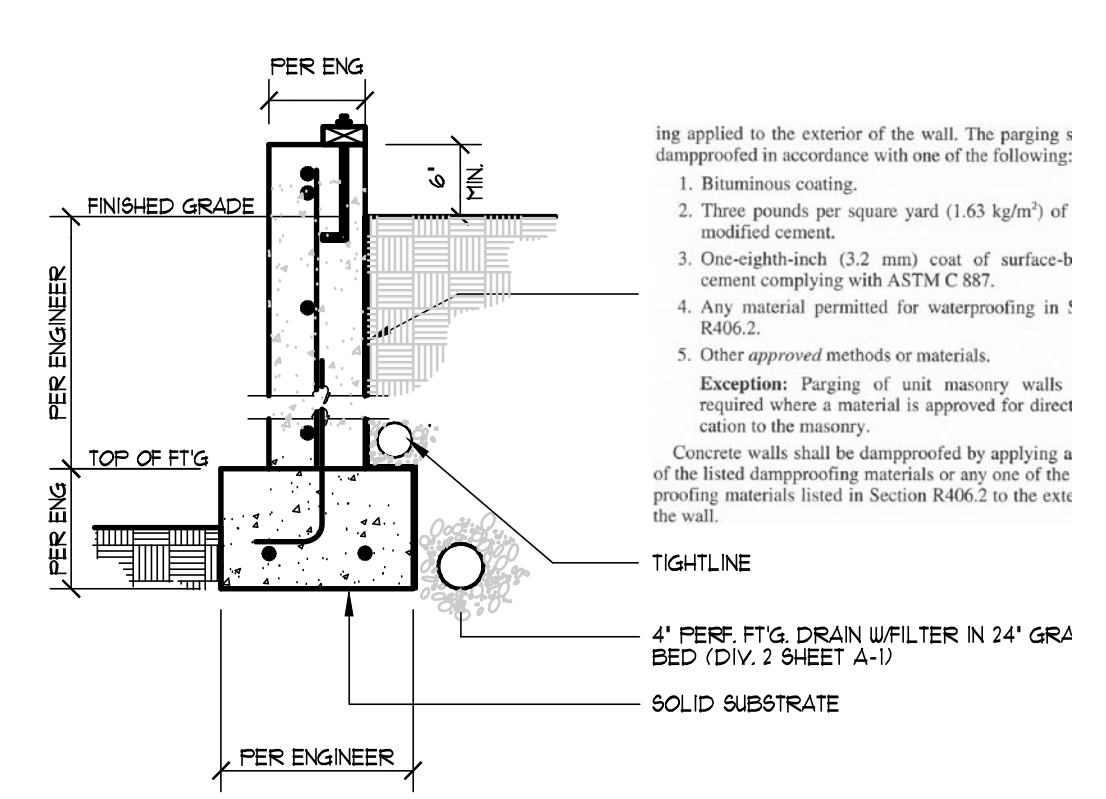
ARCHITECTURAL INNOVATIONS, P.S.
 Forward Thinking Design Solutions For Your Environment
 14311 SE 16th St.
 Bellevue, WA 98007
 1-800-888-4517
 www.kapplerhomeplans.com

TITLE	
JOB NO.:	21076.21
STARTING NO.:	21076.05

SHEET
A8

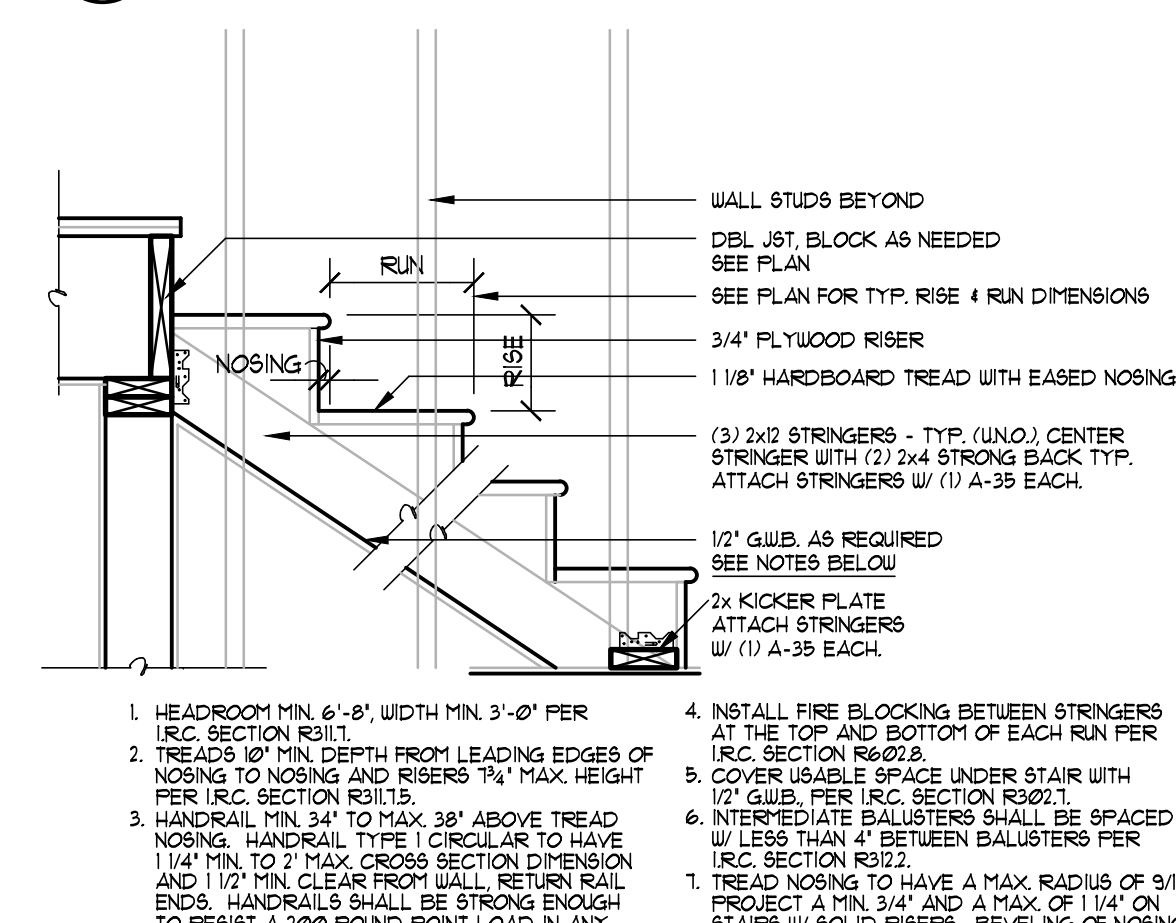


5 FOUNDATION DETAIL
 3/4"=1'-0" 08300-00000-78

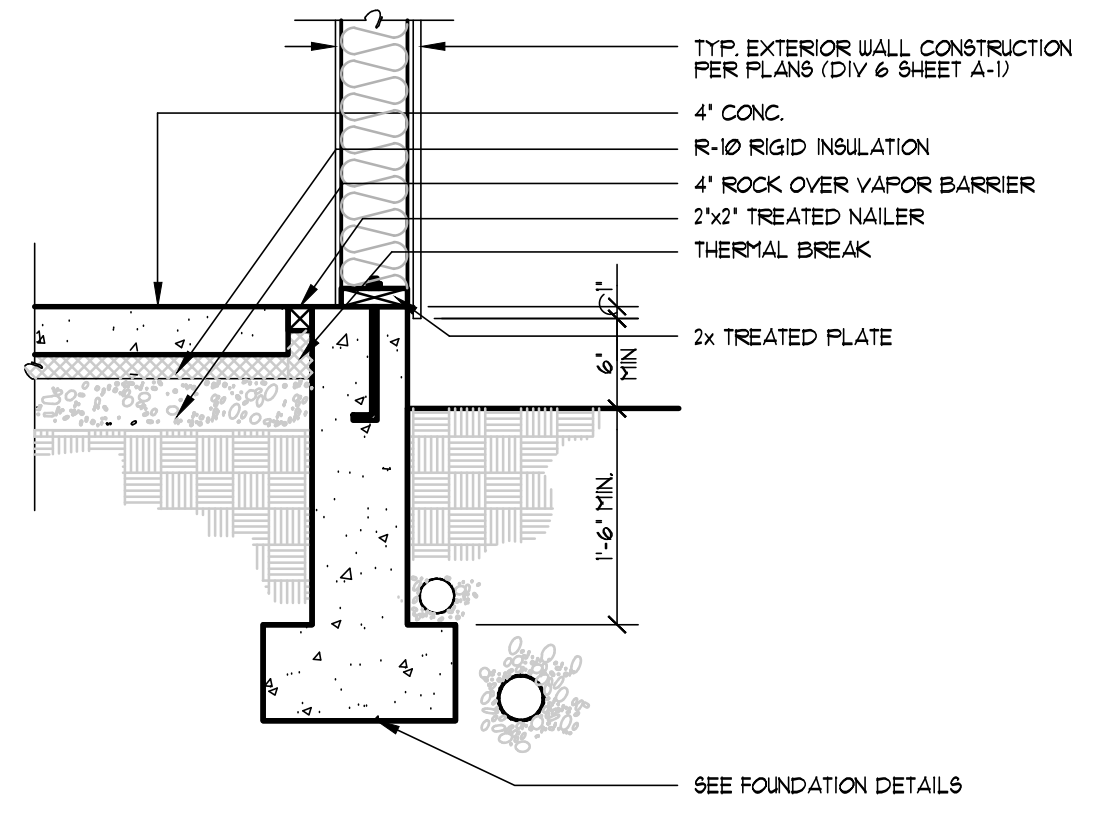


1 DAMP PROOFING DETAIL
 3/4"=1'-0" 08300-0710

- ing applied to the exterior of the wall. The paring & dampproofed in accordance with one of the following:
- Blumstein coating.
 - Three pounds per square yard (1.63 kg/m²) of modified cement.
 - One-eighth-inch (3.2 mm) coat of surface-b cement complying with ASTM C 887.
 - Any material permitted for waterproofing in 1 8006.2.
 - Other approved methods or materials.
- Exception: Paring of unit masonry walls required where a material is approved for direct contact to the masonry.
- Concrete walls shall be dampproofed by applying a of the listed dampproofing materials or any one of the proofing materials listed in Section R406.2 to the ext wall.

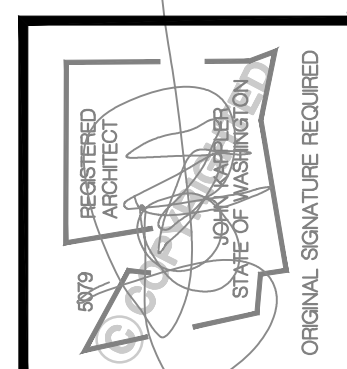


6 STAIR SECTION DETAIL
 3/4"=1'-0" 08200-09100-01



2 FOUNDATION DETAIL
 3/4"=1'-0" 08300-00001

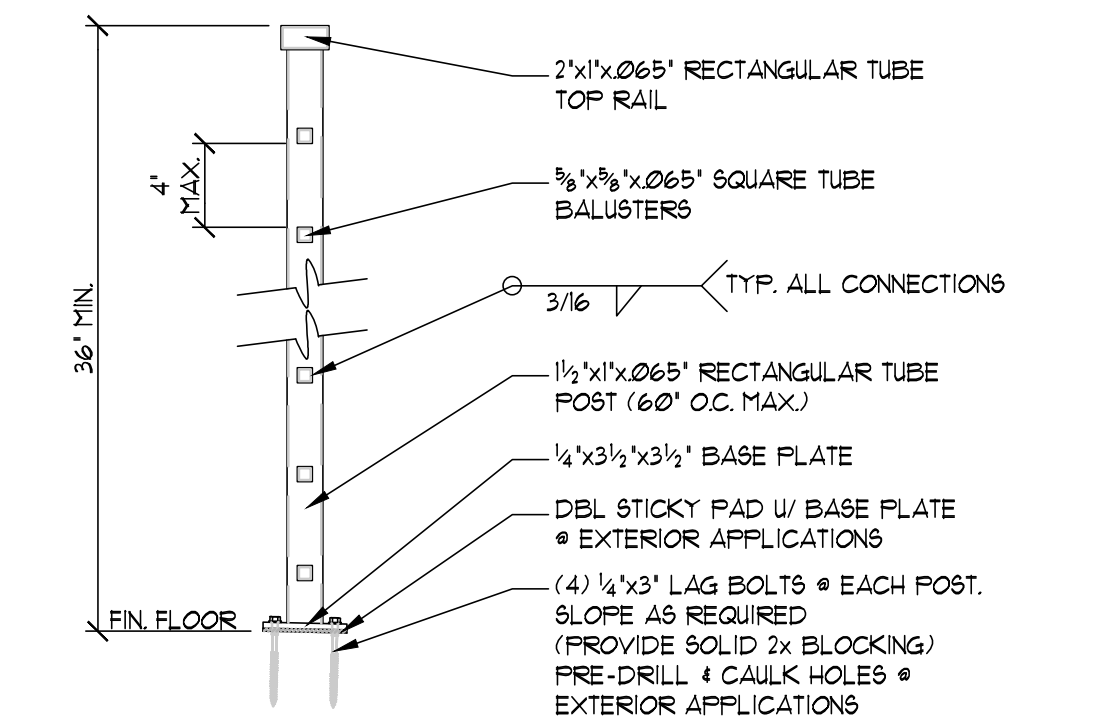
- HEADROOM MIN. 6'-8", WIDTH MIN. 3'-0" PER IRC SECTION R301.1.
- TREADS 10" MIN. DEPTH FROM LEADING EDGES OF NOSING TO NOSING AND RISERS 1 1/4" MAX. HEIGHT PER IRC SECTION R301.5.
- HANDRAIL MIN. 34" TO MAX. 38" ABOVE TREAD NOSING. HANDRAIL TYPE 1 CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200 POUND POINT LOAD IN ANY DIRECTION PER IRC TABLE R301.5.3.
- INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER IRC SECTION R302.5.
- COVER USABLE SPACE UNDER STAIR WITH 1/2" G.W.B. PER IRC SECTION R309.1.
- INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS PER IRC SECTION R312.1.
- TREAD NOSING TO HAVE A MAX. RADIUS OF 3/16" PROJECT A MIN. 3/4" AND A MAX. OF 1 1/4" ON STAIRS W/ SOLID RISERS. BEVELING OF NOSING NOT TO EXCEED 1/2" PER IRC SECTION R315.3.3.



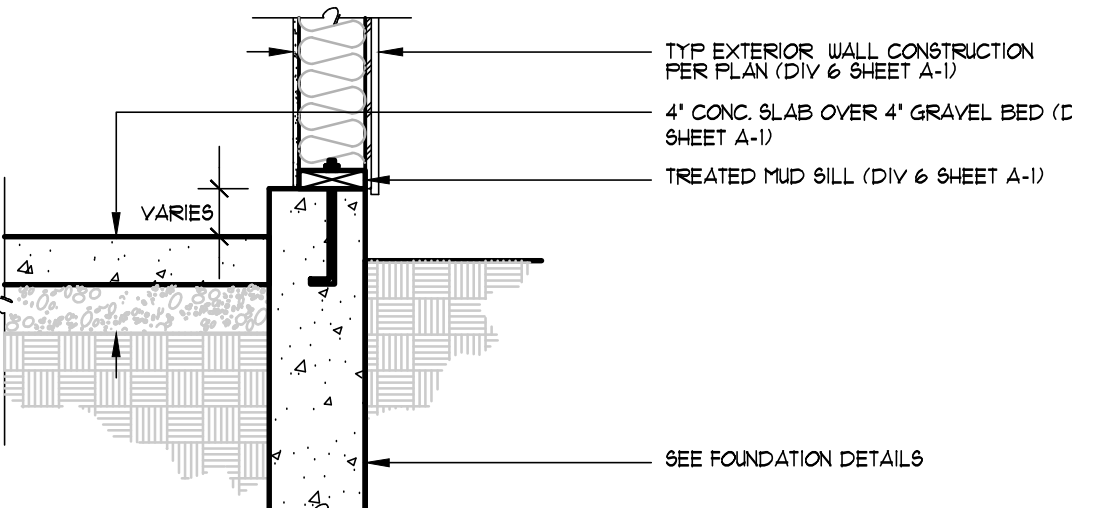
Date	By	Description
10/12/22	REY. PERMIT SET	
8/17/23	REY. JURISDICTIONAL COMMENTS	
8/25/23	REY. JURISDICTIONAL COMMENTS	
10/5/23	REY. JURISDICTIONAL COMMENTS-CLOUDED	

Buchan Homes
Westview Plan
 Permit no. 2210-120
 3036 67th Ave SE
 Mercer Island, WA
 THIS DRAWING IS © COPYRIGHTED ARCHITECTURAL INNOVATIONS, P.S. ALL RIGHTS RESERVED

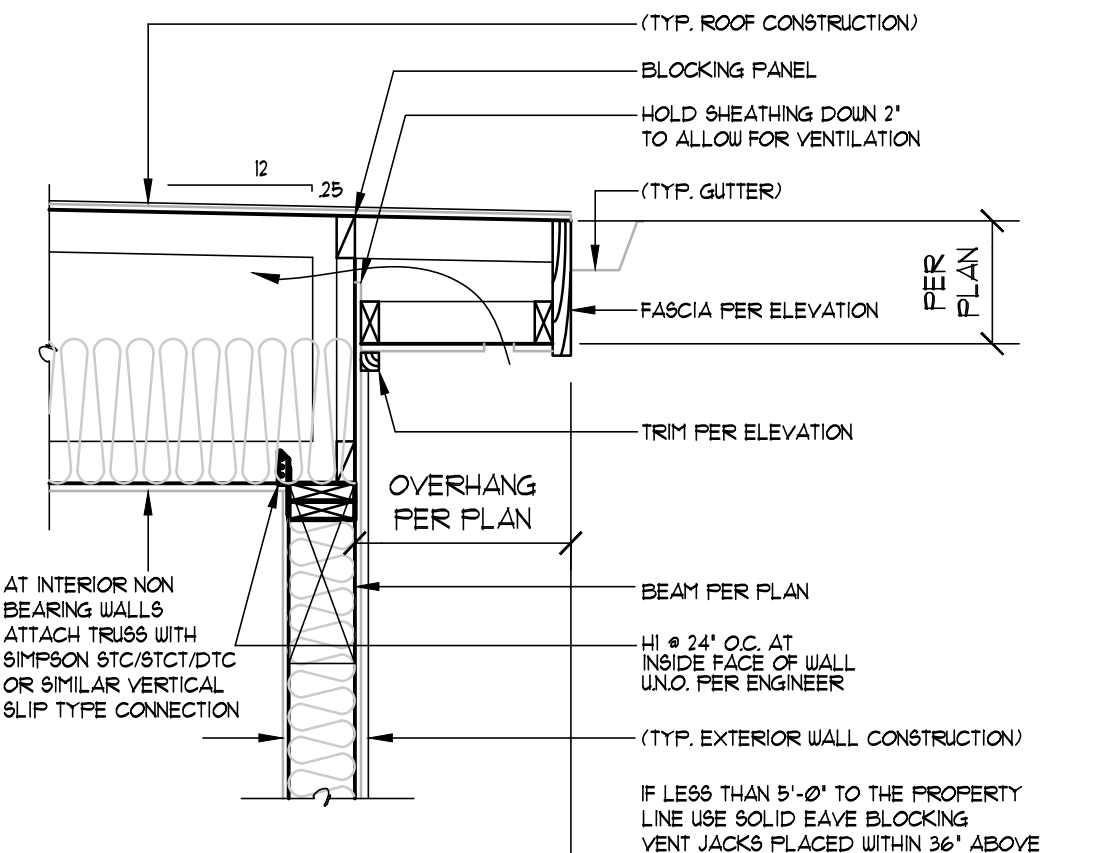
ARCHITECTURAL INNOVATIONS, P.S.
 Forward Thinking Design Solutions For Your Environment
 14311 SE 16th St
 Bellevue, WA 98007
 1-800-888-4517
 www.kapellbuchanhomes.com



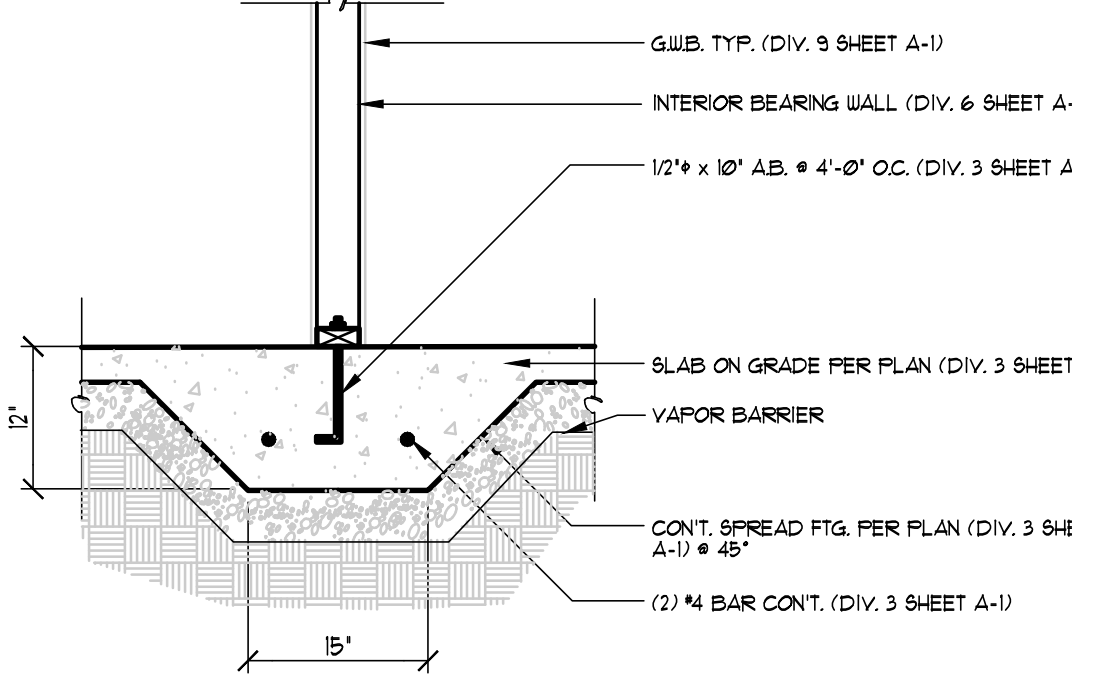
7 STANDARD RAIL DETAIL
 1 1/2"=1'-0" 08100-05300



3 SLAB & STEM WALL
 3/4"=1'-0" 08100-05300



8 EAVE DETAIL
 3/4"=1'-0" 08100-07300-18



4 FOUNDATION/FRAMING CONNECTION
 3/4"=1'-0" 08300-0610

TITLE
JOB NO. : 21076.21
STARTING NO. : 21076.05

SHEET
D1

FILE STRUCTURAL NOTES

GRADE BEAM ON PIPE PILING6:

- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).
- PIILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILING6 REQUIRED TO REACH DESIGN LOAD CAPACITY IN ACCORDANCE WITH ASTM D143-81. - 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES
- PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.
- PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS TOGETHER.
- GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PIN PILE INSTALLATION & LOAD TEST.

PORCH SLAB

4" CONG. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GARAGE SLAB

4" CONG. SLAB ON GRADE ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

BASEMENT SLAB

4" CONG. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE & 2018 INTERNATIONAL BUILDING CODE
- FOUNDATIONS HAS BEEN DESIGNED BASED ON GEOTECH REPORT PROVIDED BY TERRA ASSOCIATES, INC., DATED AUGUST 18, 2022, REVISED APRIL 21, 2023.
- DESIGN LOADS:
SOIL: 2,000 PSF ALLOWABLE BEARING PRESSURE
- CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, UNO.

F _c = 2500 psi	FOUNDATION WALLS*
2500 psi	FOOTINGS*
2500 psi	INTERIOR SLABS ON GRADE
3500 psi	EXT. SLABS ON GRADE
f _t = 400,000 psi	
- UTILIZE 95% SACKS 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3000 PSI CONCRETE FOR WEATHERING POTENTIAL.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES.
- FOUNDATION WALLS SHALL BE BRACED PRIOR TO BACKFILLING BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH 3/8" DIA. ANCHOR BOLTS W/ MIN 3"x3"x1/2" FLANGE WASHERS EDGE OF WASHER TO BE LOCATED WITHIN 1/2" OF EXTERIOR EDGE OF SILL PLATE & NUTS @ 6'-0" O.C. @ 2-STORY & 4'-0" O.C. @ 3-STORY CONDITIONS W/ 7" MIN. EMBEDMENT INTO CONG. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, UNO. (SEE FND. DETAIL.)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE-TREATED. HEM FIR #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE.
- ARCH/BUILDER TO VERIFY ALL DIMENSIONS.

LOADING AND DESIGN PARAMETERS

GRAVITY DESIGN LOADS:

DEAD LOAD (P _{DF}):	
ROOF TRUSS TOP CHORD	7
ROOF TRUSS BOTTOM CHORD	10
FLOOR TRUSSES:	15
FLOOR (SOLID SAWN):	10
LIVE LOAD (P _{SF}):	
ROOF:	
RESIDENTIAL LIVING AREAS:	20
RESIDENTIAL SLEEPING AREAS:	40
BALCONY LIVE:	60
SNOW LOAD:	
GROUND SNOW LOAD (P _g) (P _{SF}):	25
FLAT ROOF SNOW LOAD (P _f) (P _{SF}):	25
SNOW EXPOSURE FACTOR (C _e):	0.9
SNOW LOAD IMPORTANCE FACTOR (I):	1.0
THERMAL FACTOR (C _t):	1.2
LATERAL DESIGN LOADS:	
WIND LOAD: (IBC 1609)	
SPEED (V) (MPH):	100
WIND RISK CATEGORY:	II
IMPORTANCE FACTOR (I _w):	1.0
EXPOSURE CATEGORY:	C
INTERNAL PRESSURE COEFF. (IG _w):	±0.18
TOPOGRAPHIC FACTOR (K _z):	1.0
SEISMIC LOAD: (IBC 1618)	
SEISMIC RISK CATEGORY:	II
SEISMIC IMPORTANCE FACTOR (I _w):	1.0
MAPPED SPECTRAL RESPONSE:	
S _{MS} : 1.401	S _s : 0.440
SITE CLASS:	
S _{MS} : 0.439	S _s : 0.591
SEISMIC DESIGN CATEGORY:	
BASIC SEISMIC-FORCE-RESISTING SYS:	D
LIGHT FRAMED WALLS	D
WOOD STRUCTURAL PANELS	D
DESIGN BASE SHEAR (U _L):	
TRANS: 23k	LONG: 23k
SEISMIC RESPONSE COEFF. (C _d) (ADDITION):	TRANS: 0.14
TRANS: 0.14	LONG: 0.144
RESPONSE MODIFICATION FACTOR (R):	TRANS: 6.5
TRANS: 6.5	LONG: 6.5
ANALYSIS PROCEDURE USED:	
EQUIVALENT LATERAL FORCE	

LATERAL BRACING NOTES

THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM:
100 MPH WIND SPEED, EXP. C
(ASCE 7-16 WIND MAP, PER IRC R301.2.1.1)
RISK CAT. 2 & SEISMIC CAT. D2.

110 MPH WIND IN 2018 IRC MAP
ENGINEERED DESIGN WAS COMPLETED PER 2018 IRC (SECTION 1609 & 1613) & ASCE 7-16, AS PERMITTED BY R301.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.

STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS

(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)

- 3/16" OSB OR 1/2" PLYWOOD:
FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 6" O.C. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION UNO. ON PLANS.

3" O.C. EDGE NAILING

(WHERE NOTED ON PLANS)

- 3/16" OSB OR 1/2" PLYWOOD:
ONLY AT LOCATIONS INDICATED ON PLANS - SHEATH WALL ONLY WITH 3/16" OSB. FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

- #### NOTES:
- LATERAL ANALYSIS ASSUMES STUD SPACINGS @ 16" O.C.
 - ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"x0.131" NAILS @ 8" O.C. USE (2)3/8"x0.131" NAILS AT EACH LAP SPlice. (6) EACH SIDE OF JOINT (TYP. UNO.)
 - ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
 - ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

LEGEND

- ◻ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B/A), OR SHEARWALL ABOVE (S/A)
- BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING
- ... INDICATES AREA OF ROOF OVERFRAMING
- J-L METAL HANGER
- ∗ INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ⚡ INDICATES HOLDDOWN
- INDICATES PIPE PILE

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE & 2018 INTERNATIONAL BUILDING CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - LATEST EDITION.

GENERAL FRAMING

- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO.
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 5/8" GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLJOIN FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. DF WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x KING STUD & (1)2x KING STUD, MINIMUM.
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, UNO.
- MULTI-UP POSTS SHALL BE 2x4 OR 2x6 DOUGLAS FIR (DF) "STUD" GRADE LUMBER, OR BETTER, UNO. & SOLID WOOD COLUMN SHALL BE HEM FIR (HF) #2 GRADE LUMBER, OR BETTER, UNO.
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUGLAS FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX SHARDED CAPACITY. NAIL LENGTHS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN), TYP. UNO.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING:
• LSL MEMBERS - F_b=2325 PSI; F_v=310 PSI; E=1,550,000 PSI
• LVL MEMBERS - F_b=2600 PSI; F_v=285 PSI; E=2,040,000 PSI
• GLB MEMBERS - F_b=2,400 PSI; F_v=1,850 PSI; F_u=265 PSI; E=1,800,000 PSI; D_f DF; 2x4-F4 (UNO.)
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
• LVL MEMBERS - F_b=2400 PSI; F_u=1250 PSI; E=1,800,000 PSI
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF 3"x0.131" NAILS (MIN) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- ALL MEMBERS SPECIFIED AS MULTI-PLY 1/2" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID MATERIAL MAY BE USED AS EQUAL.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS W/ 4x4 (MIN) x-U PINS OR EQUAL (0.131" DIA. x 2" LONG MIN) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. UNO.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/800 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, UNO. (EXCLUDES STONE/MARBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MKK FOR EXCLUDED DESIGNS).
- ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/800 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (UNO. ON PLANS)
SINGLE PLY: SIMPSON LUS210
DOUBLE: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STUD"-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
- ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE, UNO.
- FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1/2" LONG NAILS.

ROOF FRAMING

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (1) 3"x0.131" TOENAILS (MIN) & (1) SIMPSON H251 CLIP @ ALL BEARING POINTS. PROVIDE (2) SIMPSON H251 CLIPS AT 2-PLY GIRDER TRUSSES & 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON H251 CLIP. PROVIDE (2) SIMPSON H251 CLIPS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS W/ 2 1/2" x 0.131" NAILS @ 6" O.C. AT PANEL EDGES & @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 1.6.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPV BCSI 1-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW W/ (2) 3"x0.131" TOENAILS AT EA. TRUSS.
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB) W/ 2x6 LEDGER FASTENED TO FRAMING W/ (3) 3"x0.131" NAILS @ 16" O.C.
- FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 • mkk@mulhernkulp.com

M&K project number: **203-22010**

project mgr: **NJM**
drawn by: **LGH**
issue date: **05-04-22**

REVISIONS:

date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH

ARCH REVISIONS
PLAN REVIEW COMMENTS
PIPE FILE REVISION

ARCHITECTURAL INNOVATIONS

STRUCTURAL NOTES

3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

S-O-O

sheet:

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON STDH14 (RJ) HOLD-DOWN
▶ HD-5	SIMPSON CS16 STRAP TIE (14" END LENGTH)
▶ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNO.)
▶ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNO.)

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORINGS, SHEETING, TEMPORARY BRACING, GUTS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN + KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MKK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:
 A. ROOF TRUSSES:
1/4" DEAD LOAD
B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
1/8" DEAD LOAD
 C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:
LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD, (NOT DIFFERENTIAL DEFLECTION)

REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

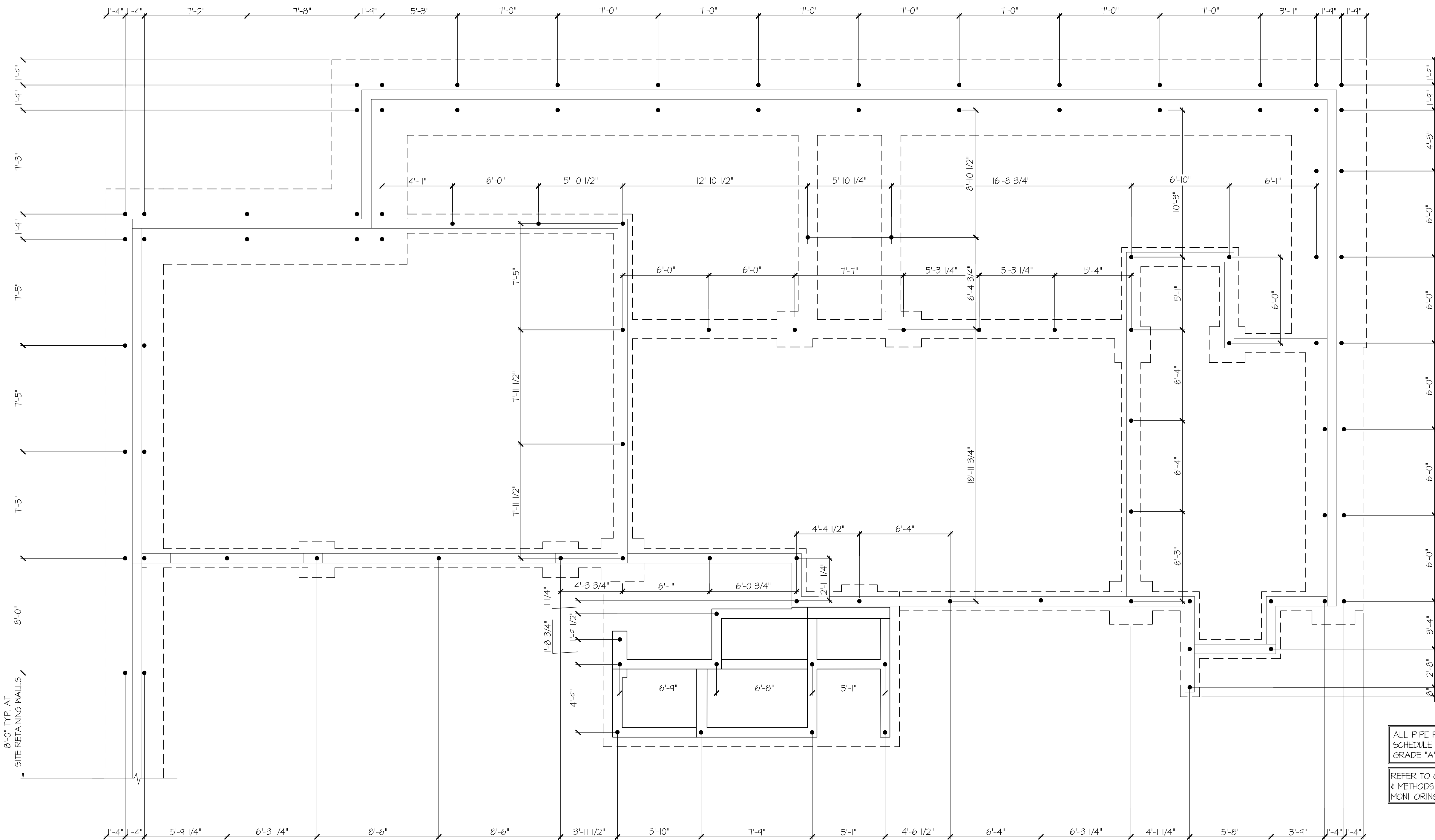
LEGEND

- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE (B/W/A), OR SHEARWALL ABOVE (S/W/A)
- [Symbol] BEAM / HEADER
- [Symbol] INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- [Symbol] INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- [Symbol] INDICATES HOLD-DOWN.
- [Symbol] INDICATES PIPE PILE

PILE STRUCTURAL NOTES

GRADE BEAM ON PIPE PILING:

- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).
- PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILING'S REQUIRED TO REACH DESIGN LOAD CAPACITY IN ACCORDANCE WITH ASTM D1143-01.
- PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.
- PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS TOGETHER.
- GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PILE INSTALLATION & LOAD TEST.

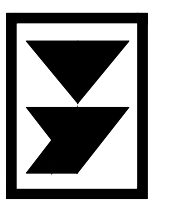


ALL PIPE PILES ARE TO BE 3" MIN. DIA. SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES U.N.O.

REFER TO GEOTECH REPORT FOR MEANS & METHODS INSTRUCTIONS AS WELL AS MONITORING REQUIREMENTS



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 • mulhernkulp.com



M&K project number:	203-22010
project mgr:	NJM
drawn by:	LGH
issue date:	05-04-22
REVISIONS:	
date:	initial:
04/28/2023	LGH
ARCH REVISION	LGH
06/21/2023	LGH
PLAN REVIEW COMMENTS	LGH
10/05/2023	LGH
PIPE PILE REVISION	

ARCHITECTURAL
INNOVATIONS

PIPE PILE PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
S-0.1

1 PIPE PILE PLAN
SCALE: 1/4"=1'-0"

REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▲ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▲ HD-1	SIMPSON 5THD14 (R.J) HOLD-DOWN
▲ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)
▲ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▲ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 • mulhern+kulp.com

M&K project number:
203-22010
project mgr: NJM
drawn by: LGH
issue date: 05-04-22

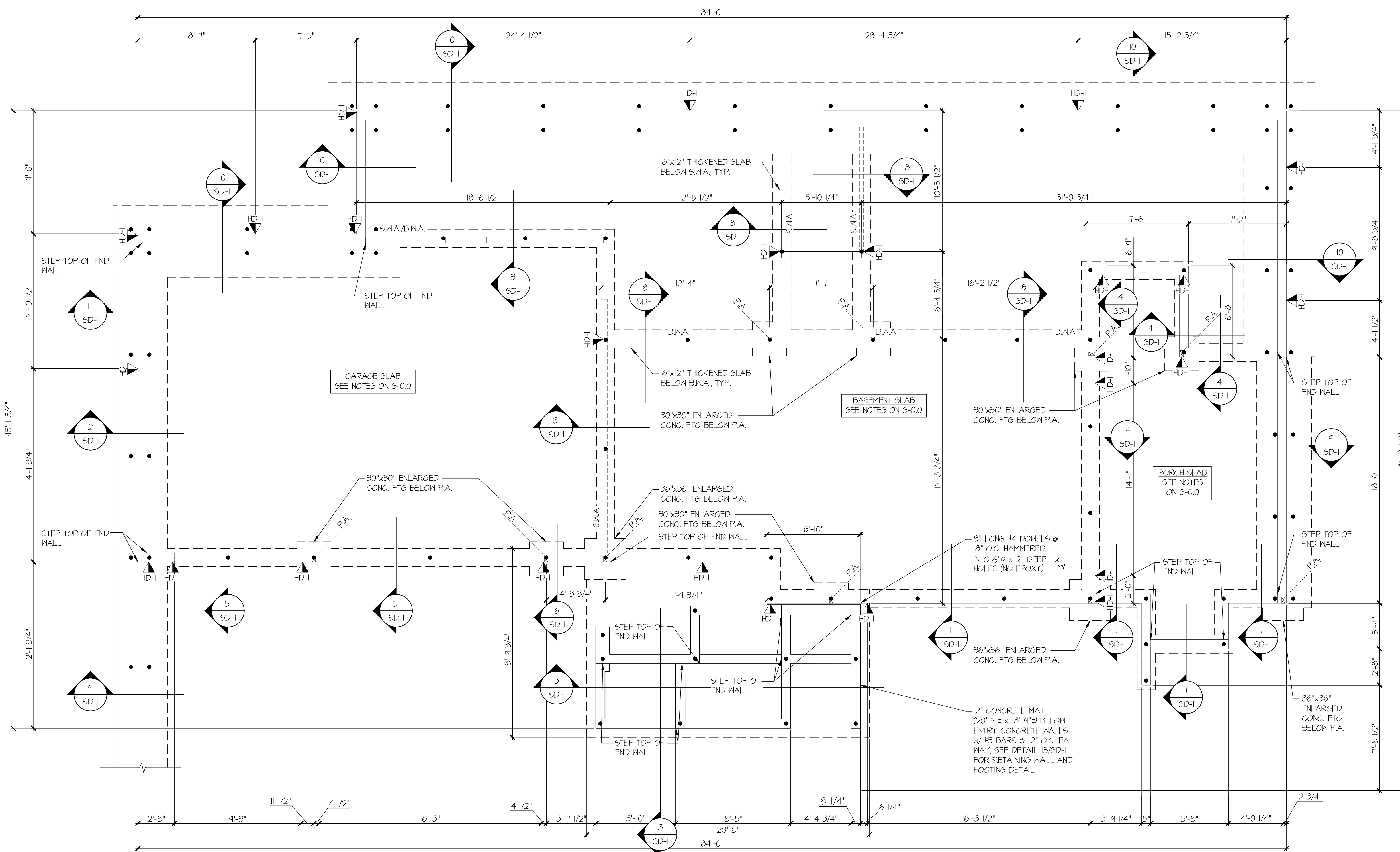
REVISIONS:

date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH

ARCHITECTURAL
INNOVATIONS

FOUNDATION PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
S-1.0



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

REFER TO S-O.O FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ◀ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON 5THD14 (R.J) HOLD-DOWN
▶ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)
▶ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▶ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-550-0010 • mulhernkulp.com

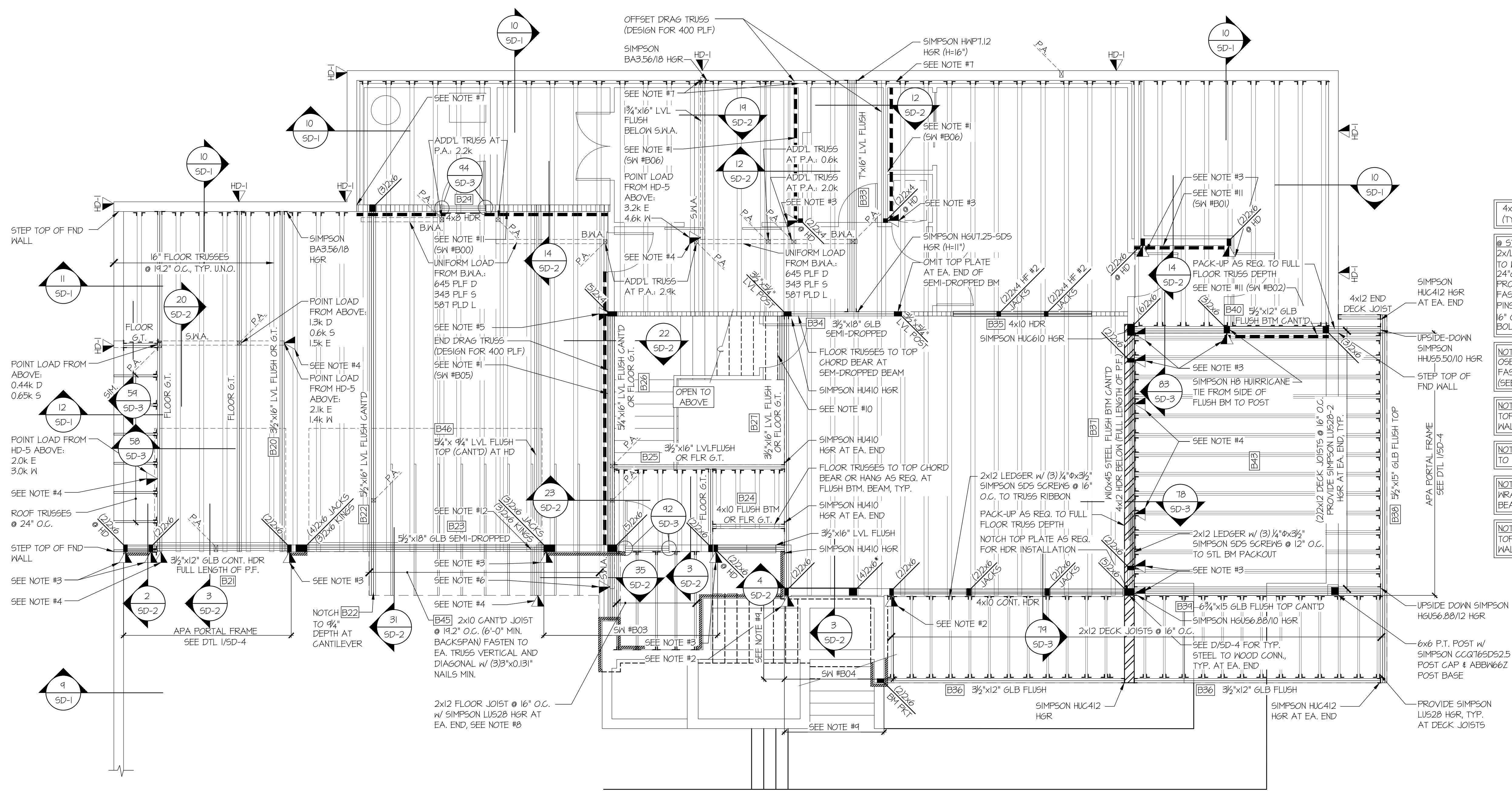
M&K project number:
203-22010
project mgr: **NJM**
drawn by: **LGH**
issue date: **05-04-22**

REVISIONS:
date: **04/28/2023** initial: **LGH**
date: **06/21/2023** initial: **LGH**
date: **10/05/2023** initial: **LGH**

ARCHITECTURAL
INNOVATIONS

MAIN FLOOR FRAMING PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
S-1.1



- 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B22]
- STEEL BEAMS: PROVIDE SOLID 2x LVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- PROVIDE 1/8" OSB/PLYWOOD SHEATHING AND FASTEN 3" O.C. EDGE NAILING (SEE NOTES ON S-O.O)
- HD-5 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- HD-5 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- HD-6 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- HD-6 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.

1 MAIN FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

REFER TO S-O.O FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▲ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON 5THD14 (R.J) HOLD-DOWN
▶ HD-5	SIMPSON C516 STRAP TIE (14" END LENGTH)
▶ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▶ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



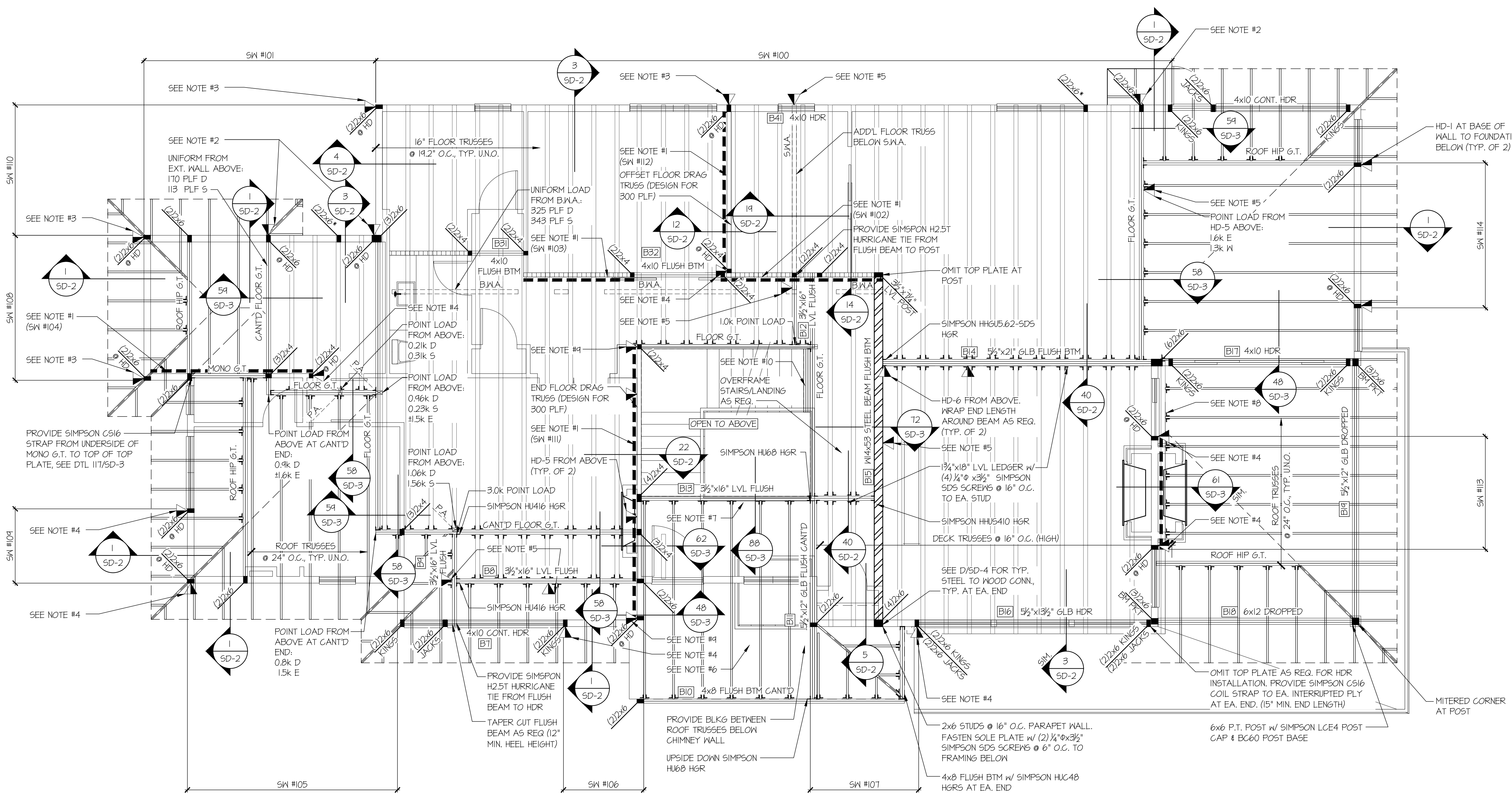
MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-550-0010 • mulhern+kulp.com

M&K project number:
203-22010

project mgr: NJM
drawn by: LGH
issue date: 05-04-22

REVISIONS:

date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH



- 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B30]
- @ STEEL BEAMS: PROVIDE SOLID 2x LVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @ 16" o.c. STAGGERED, OR 1/2" DIA. BOLTS @ 48" o.c. STAGGERED.
- NOTE #1: PROVIDE 1/4" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-O.O)
- NOTE #2: HD-5 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #3: HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #4: HD-5 AT BASE OF WALL TO FRAMING BELOW.
- NOTE #5: HD-5 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- NOTE #6: PROVIDE 2x6 STUDS @ 16" o.c. FROM TOP OF ROOF SHEATHING TO TOP OF CHIMNEY WALL. FASTEN SOLE PLATE w/ (2) 1/4" x 3 1/2" SIMPSON SDS SCREWS @ 6" o.c. TO ROOF TRUSSES/BLKG. TYP. AT CHIMNEY WALLS.
- NOTE #7: 2x6 LEDGER w/ (3) 3"x0.131" NAILS @ 16" o.c. TO GIRDER TRUSS/FLUSH BEAM
- NOTE #8: 2x6 LEDGER w/ (4) 3"x0.131" NAILS @ 16" o.c. TO EA. STUD
- NOTE #9: HD-6 AT BASE OF WALL TO FRAMING BELOW.
- NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2) 3"x0.131" NAILS

1 UPPER FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

UPPER FLOOR FRMG PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
S-2.0

REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE (B/W.A.), OR SHEARWALL ABOVE (S/W.A.)
- [Symbol] BEAM / HEADER
- [Symbol] INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- [Symbol] INDICATES AREA OF ROOF OVERFRAMING
- [Symbol] J L METAL HANGER
- [Symbol] * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- [Symbol] INDICATES HOLD-DOWN
- [Symbol] INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▶ HD-1	SIMPSON 5THD14 (R.J) HOLD-DOWN
▶ HD-5	SIMPSON CS16 STRAP TIE (14" END LENGTH)
▶ HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
▶ HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 - mulhern+kulp.com

M&K project number: 203-22010
project mgr: NJM
drawn by: LGH
issue date: 05-04-22

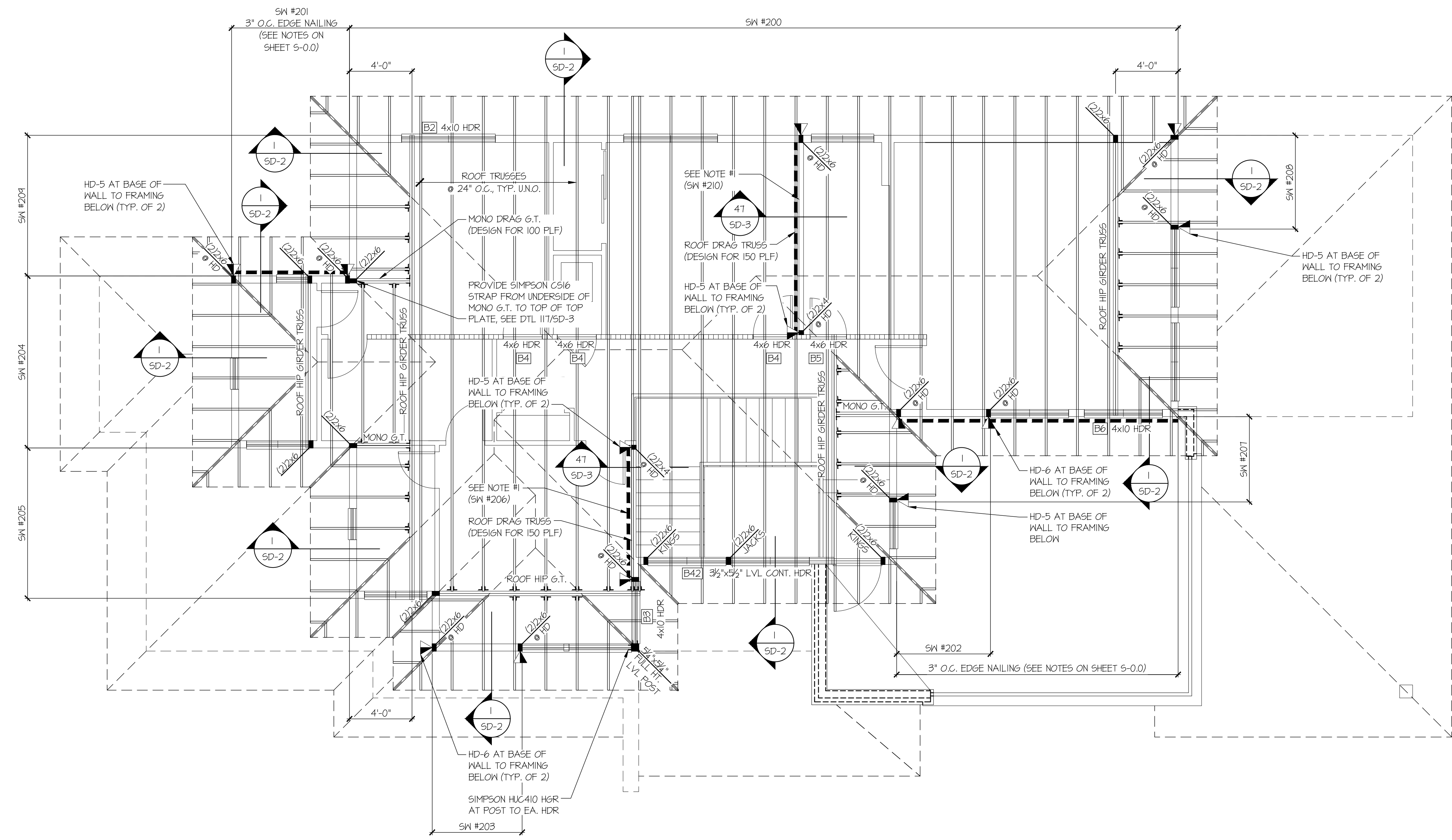
REVISIONS:

date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH

ARCHITECTURAL
INNOVATIONS

ROOF FRAMING PLAN
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
S-3.0



4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B]

NOTE #1: PROVIDE 1/8" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)

1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 - mulhern+kulp.com

M&K project number: 203-22010

project mgr: NJM
drawn by: LGH
issue date: 05-04-22

REVISIONS:

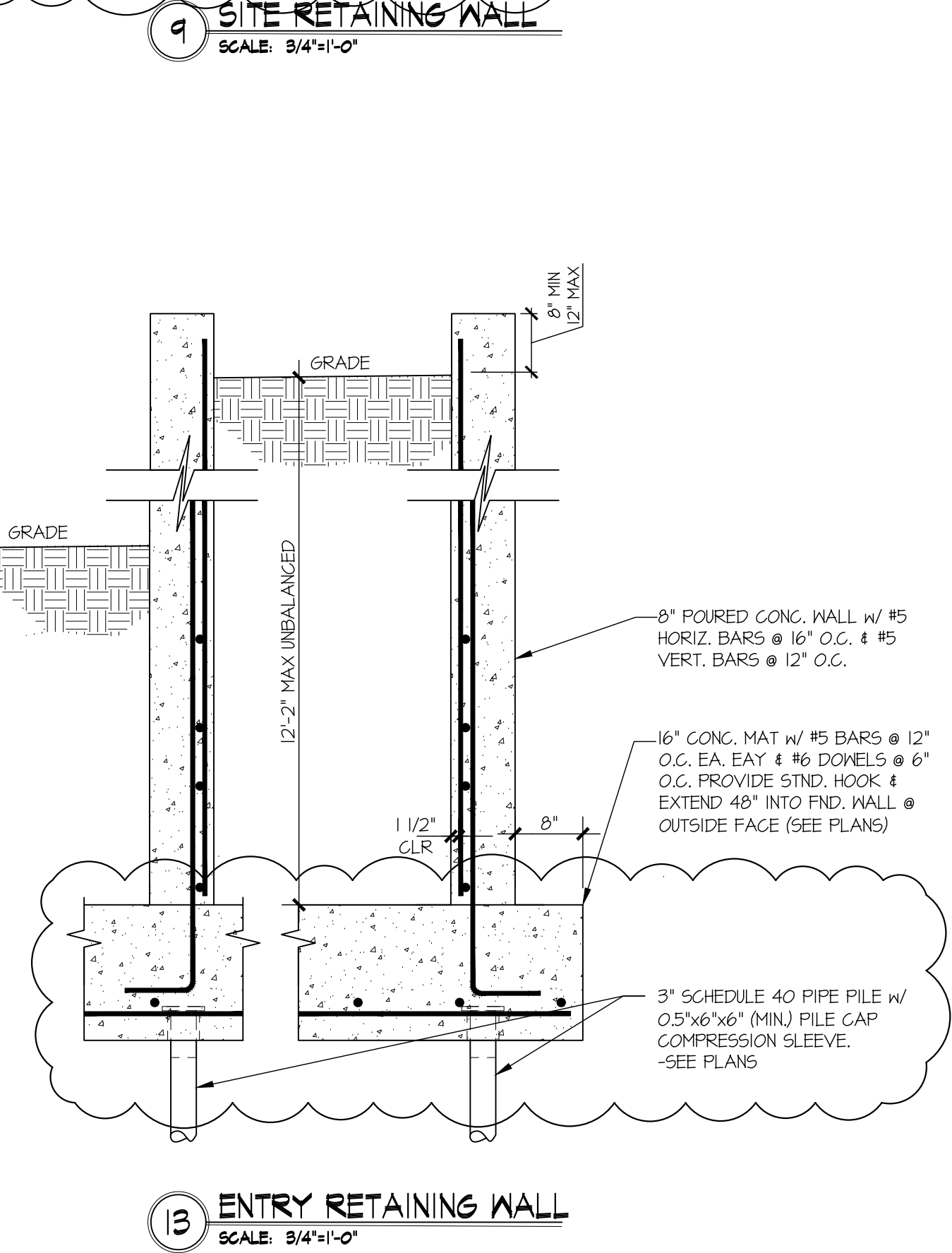
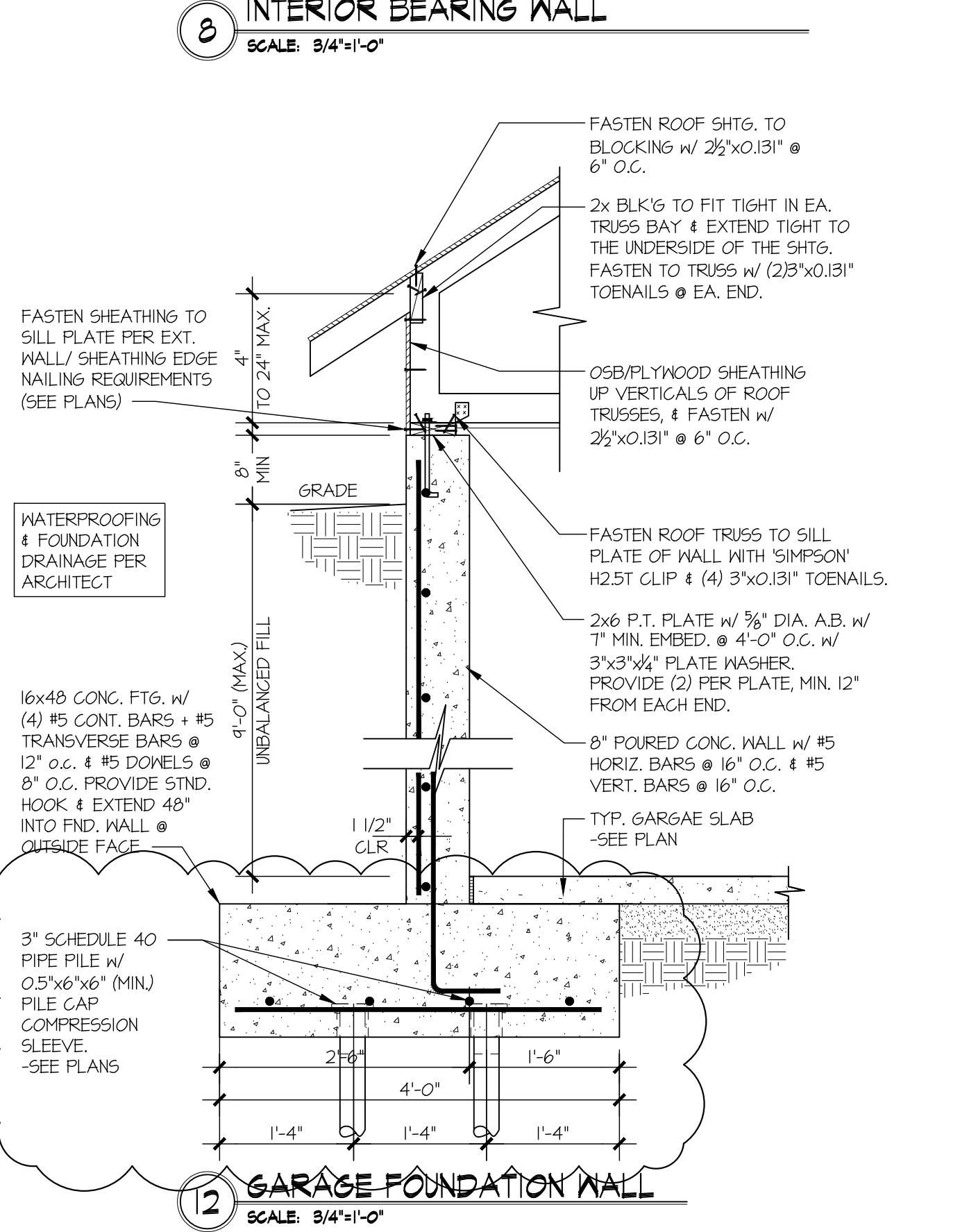
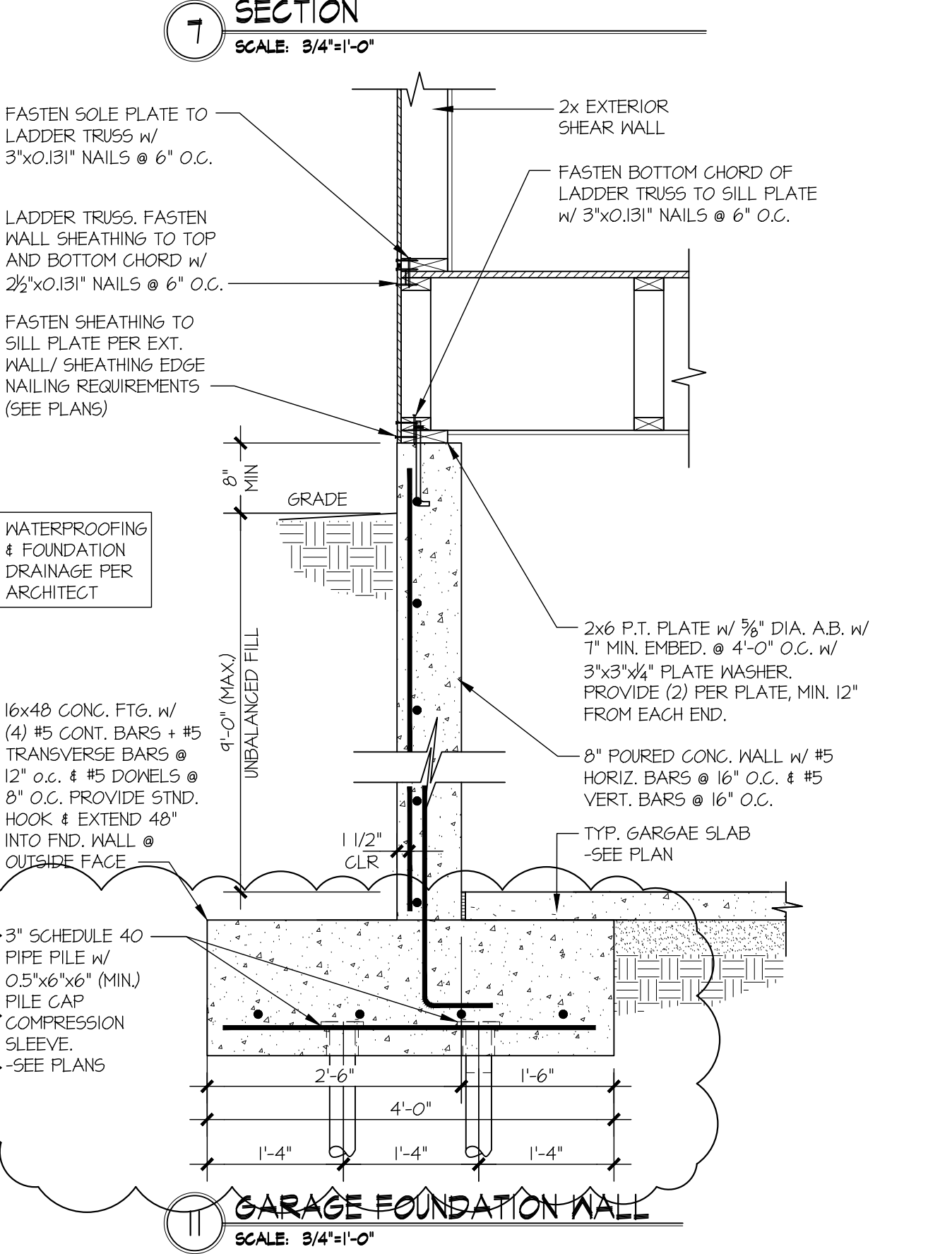
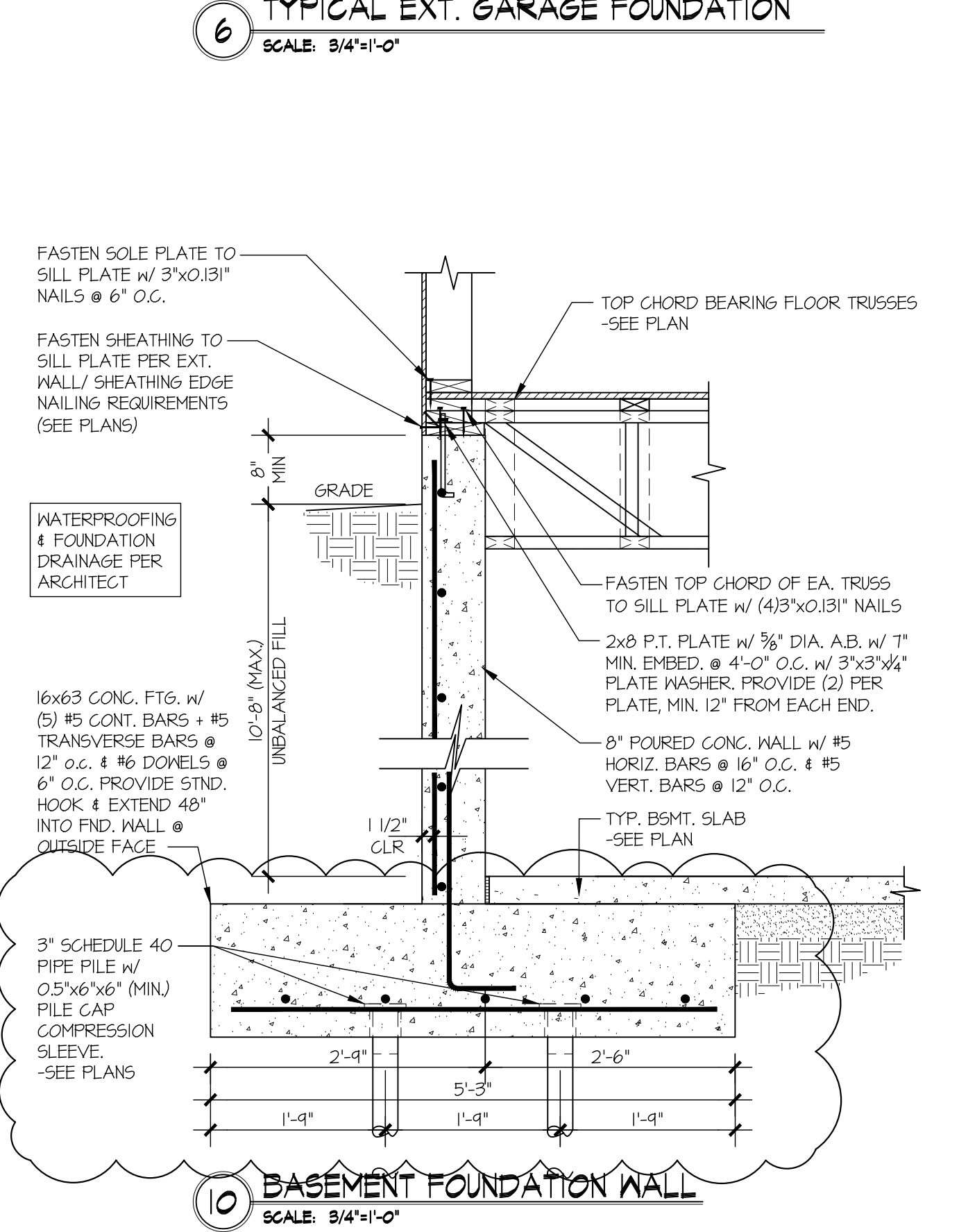
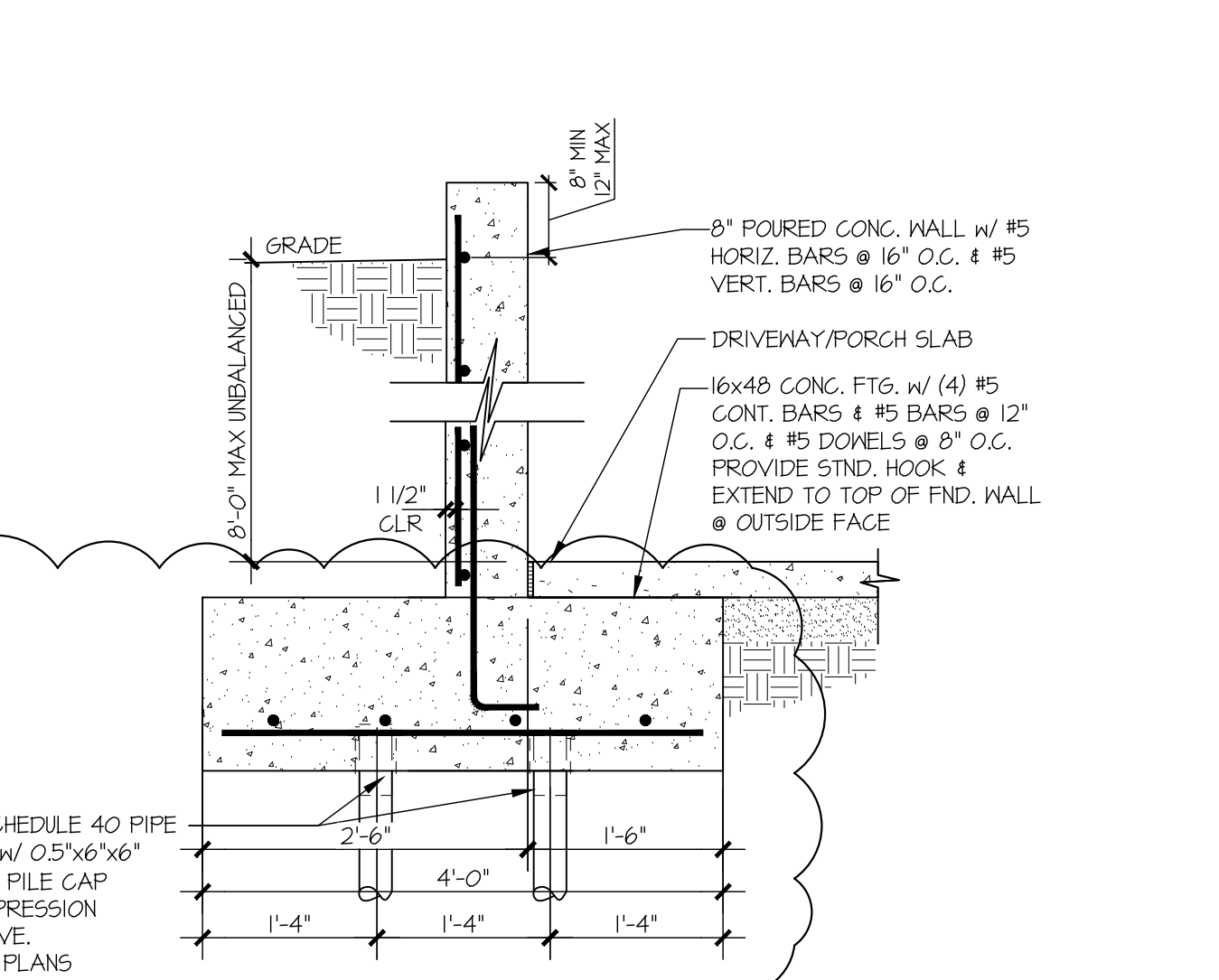
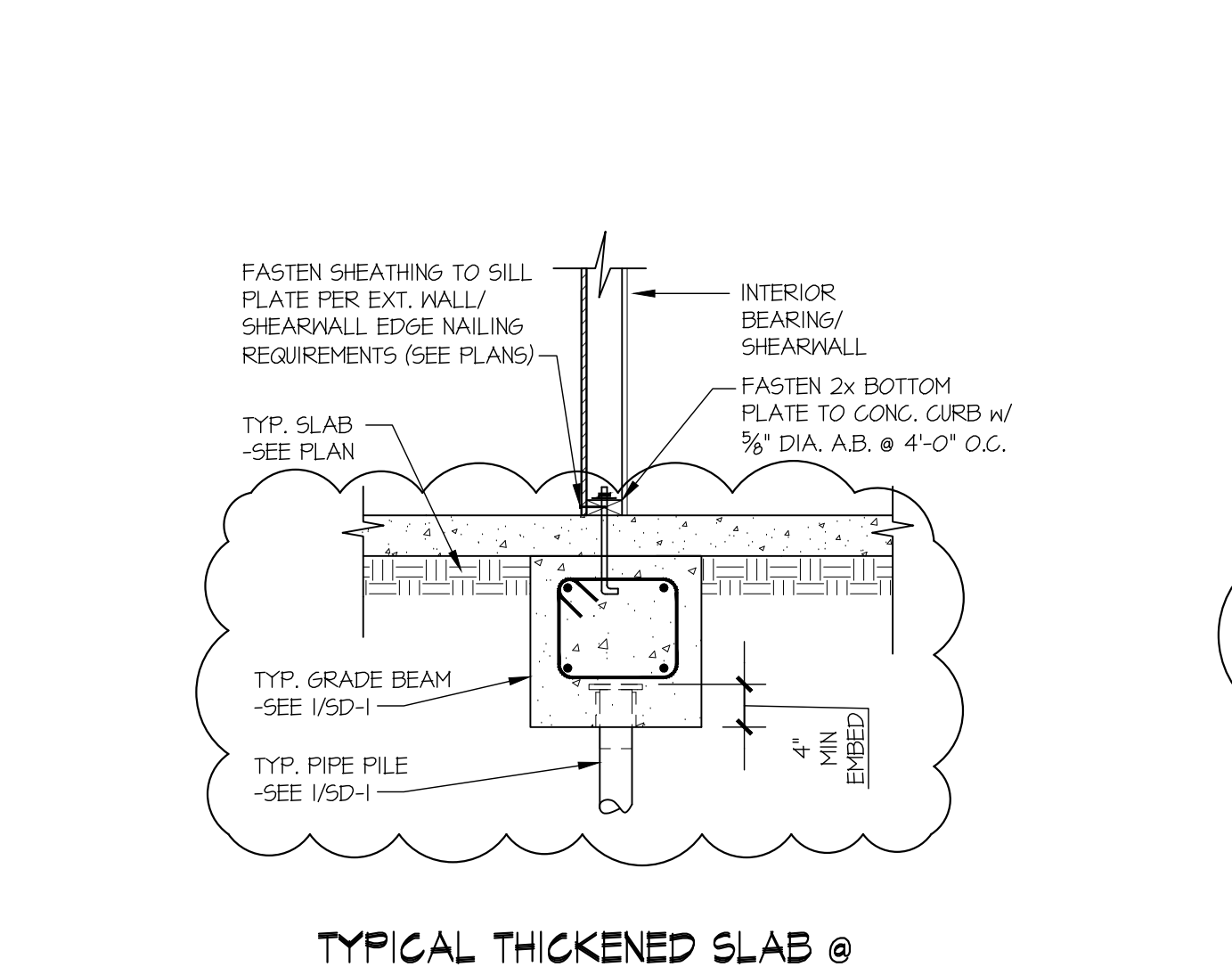
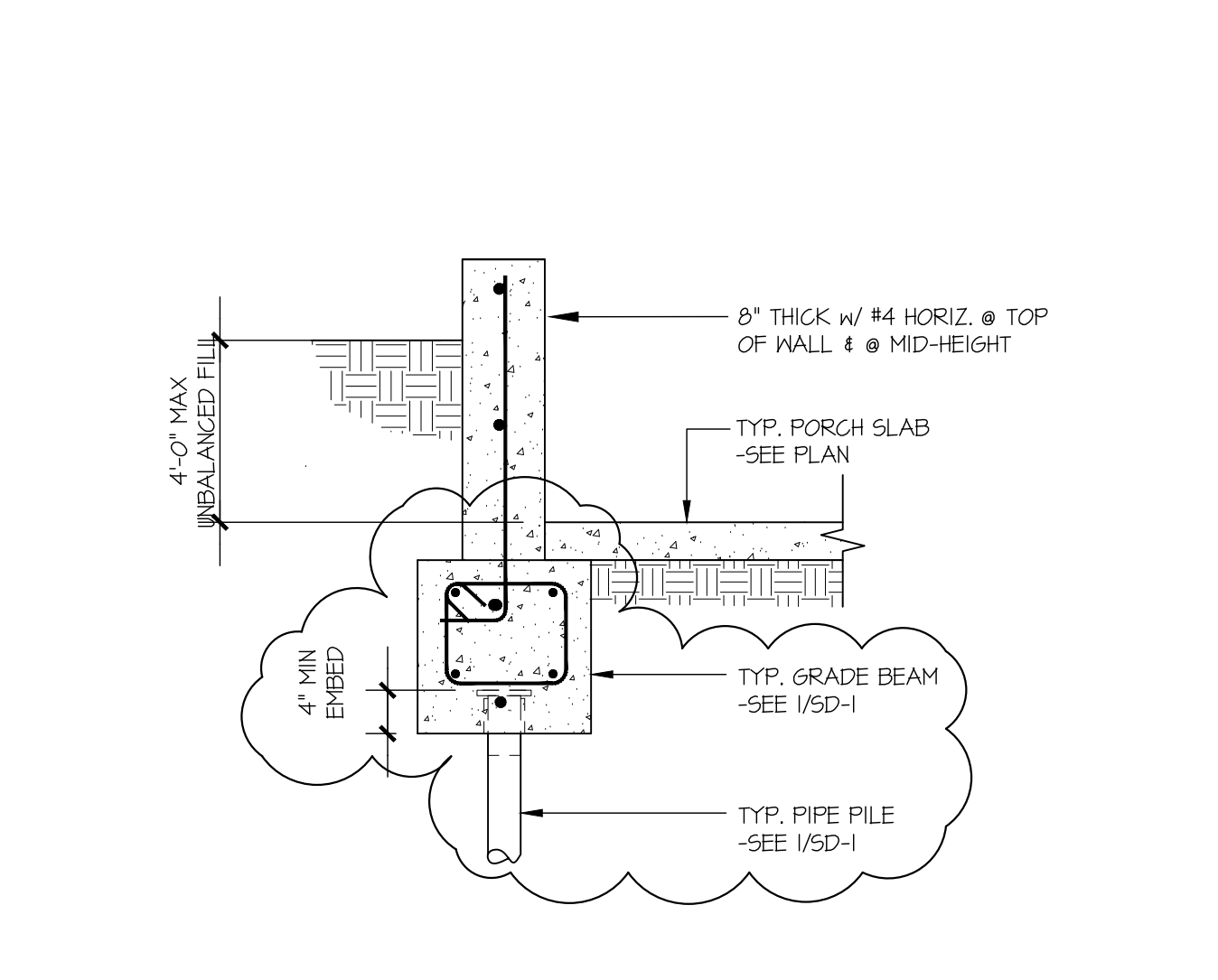
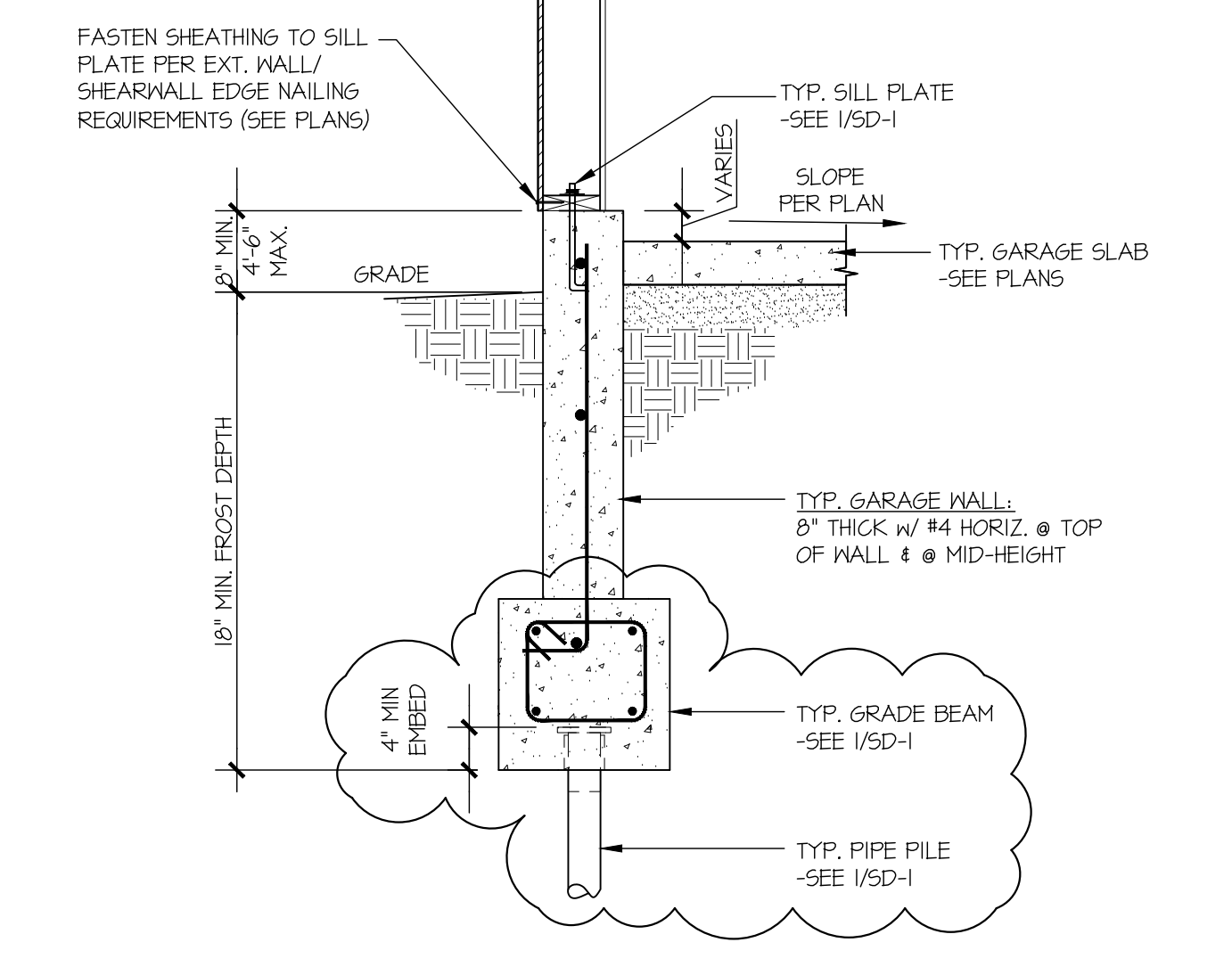
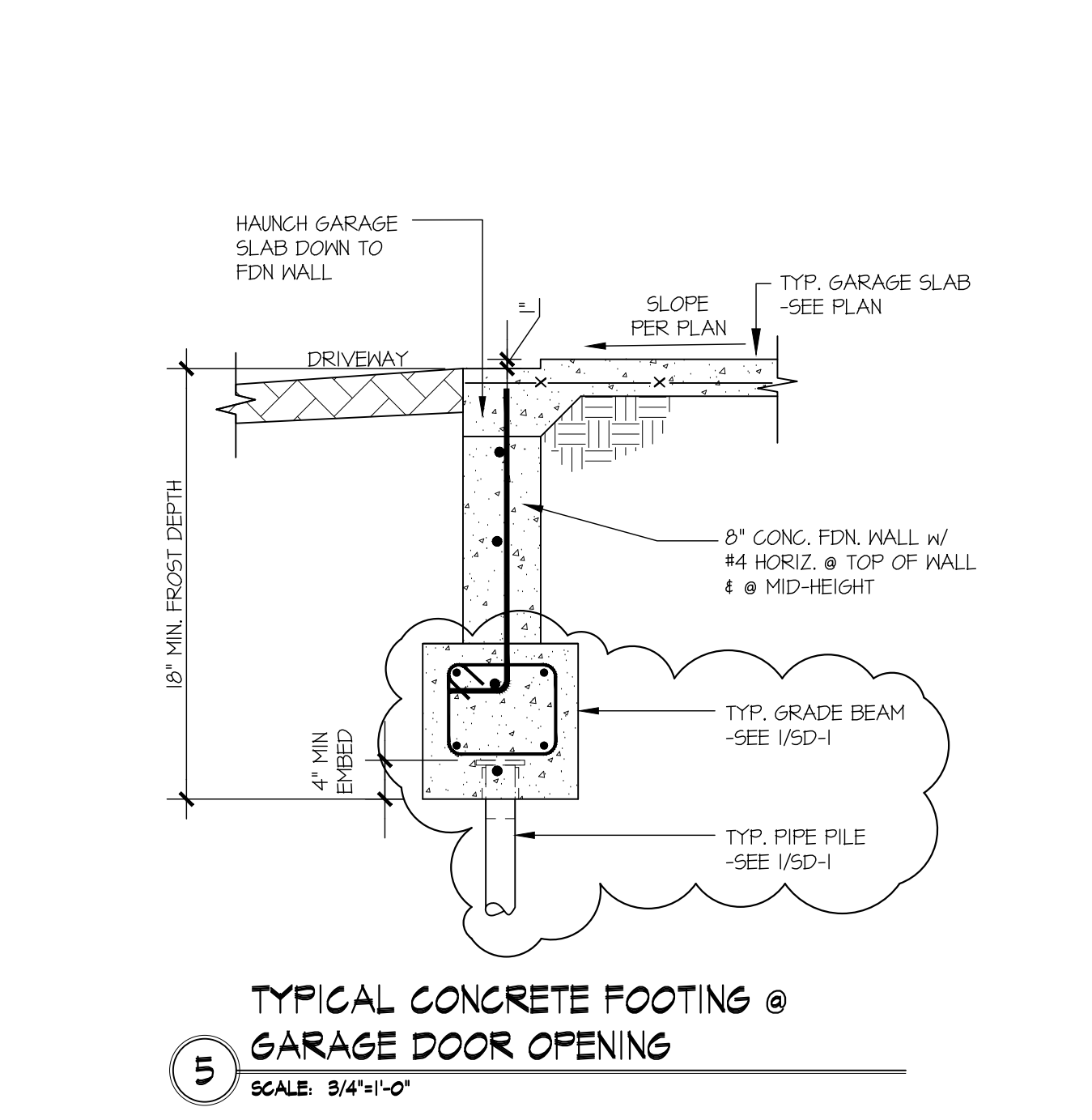
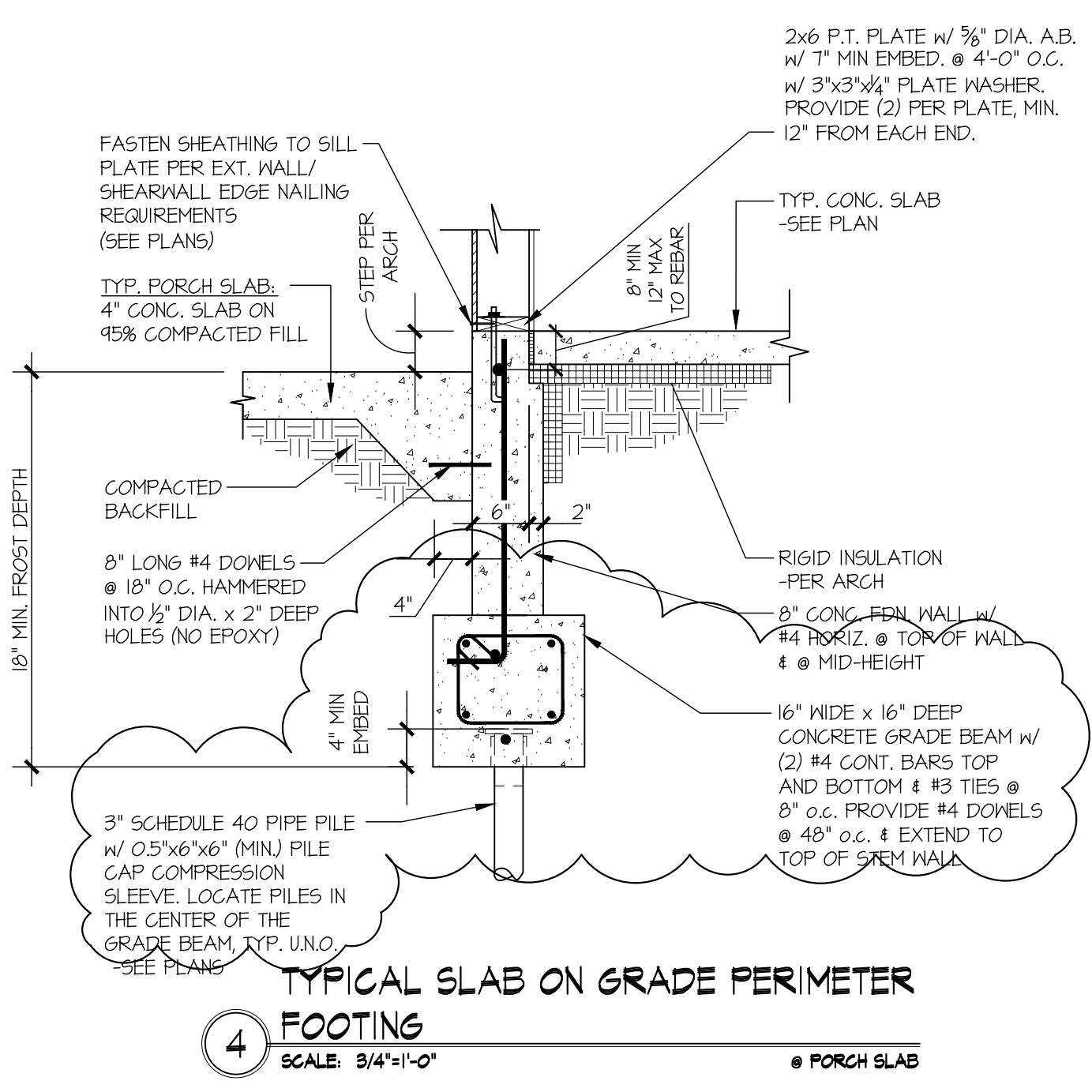
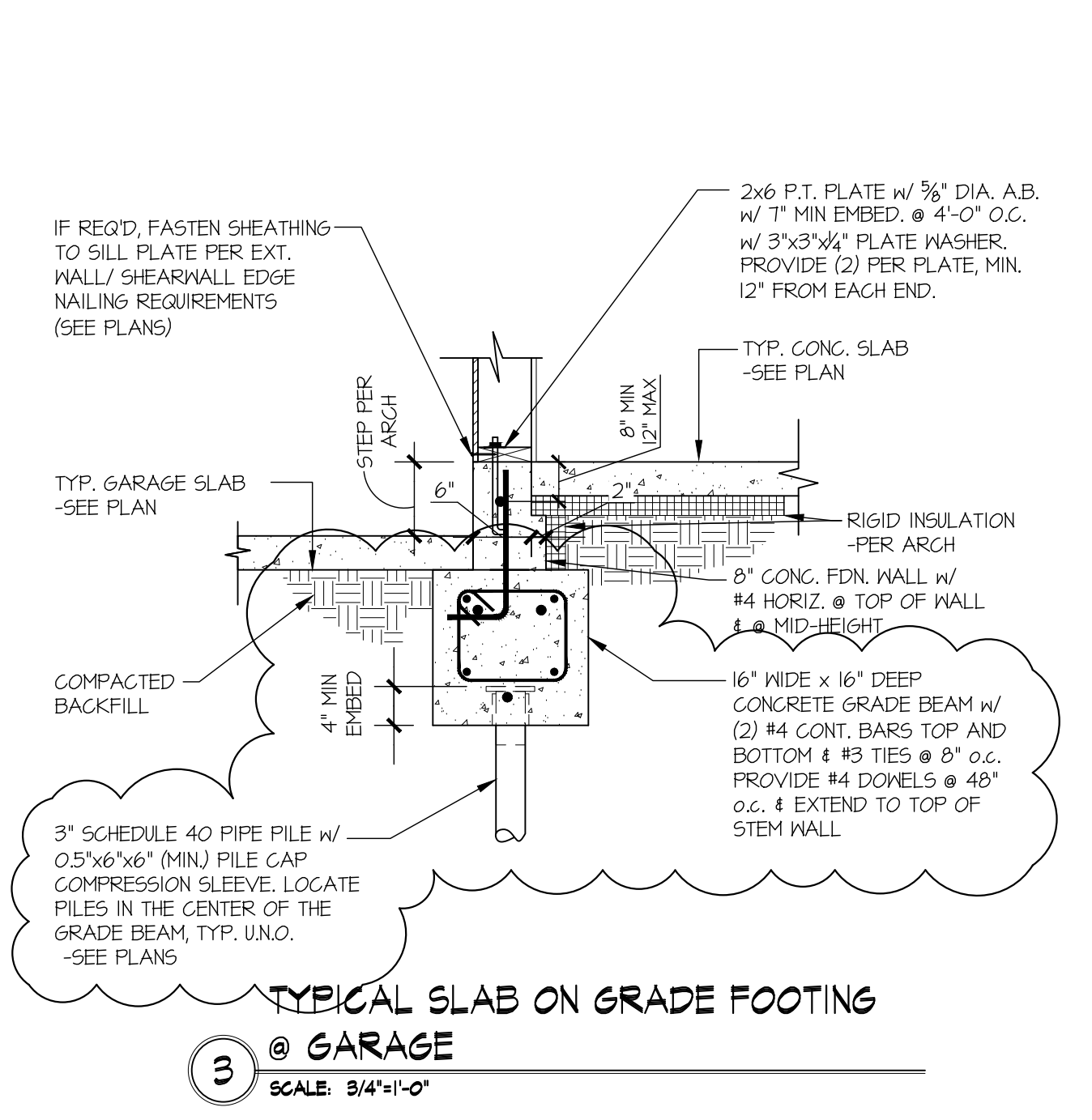
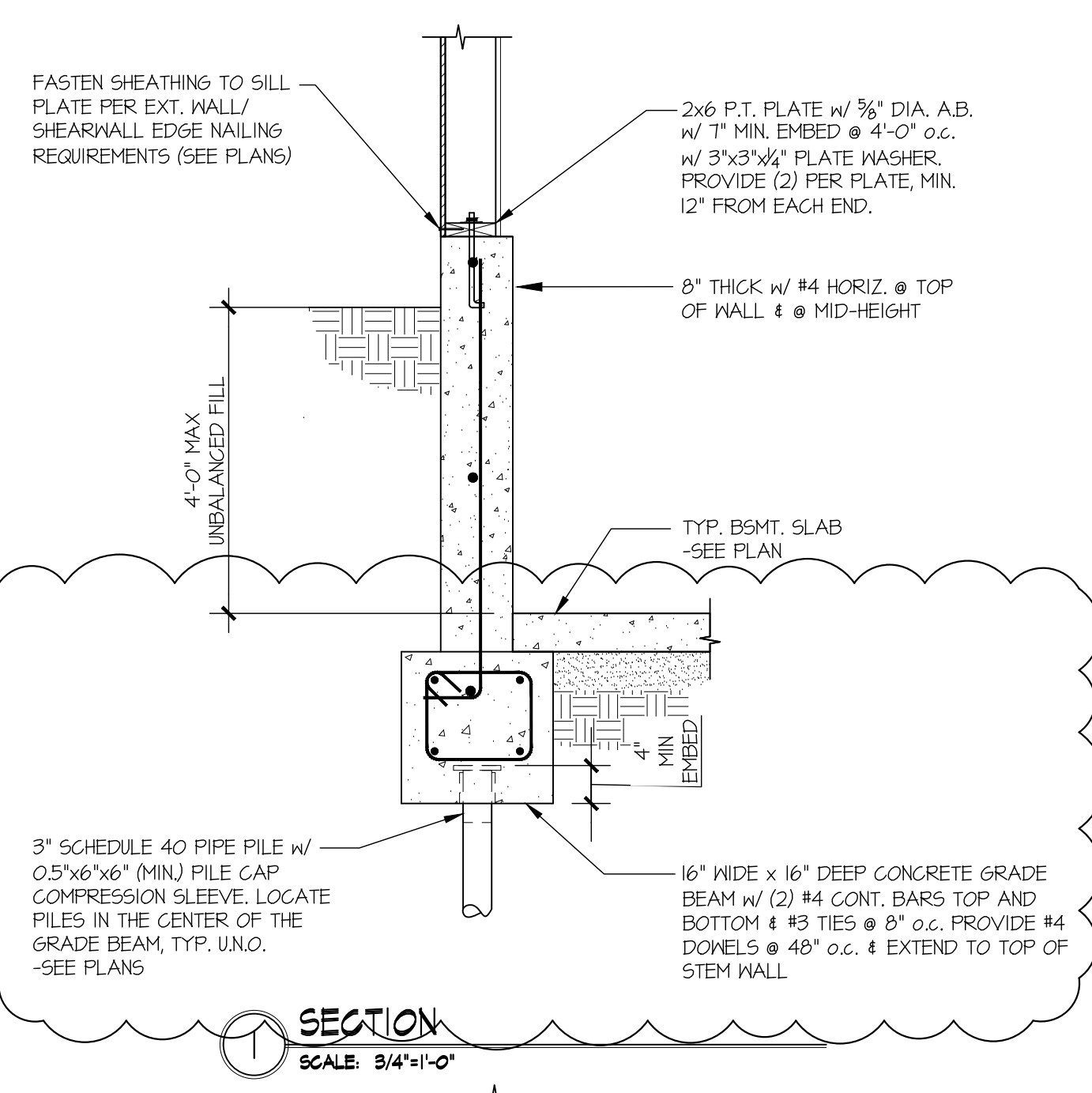
date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH

PLAN REVIEW COMMENTS
PIPE PILE REVISION

ARCHITECTURAL
INNOVATIONS

FOUNDATION DETAILS
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
SD-1





MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 205, San Diego, CA 92121
p 619-560-0010 - mulhern+kulp.com



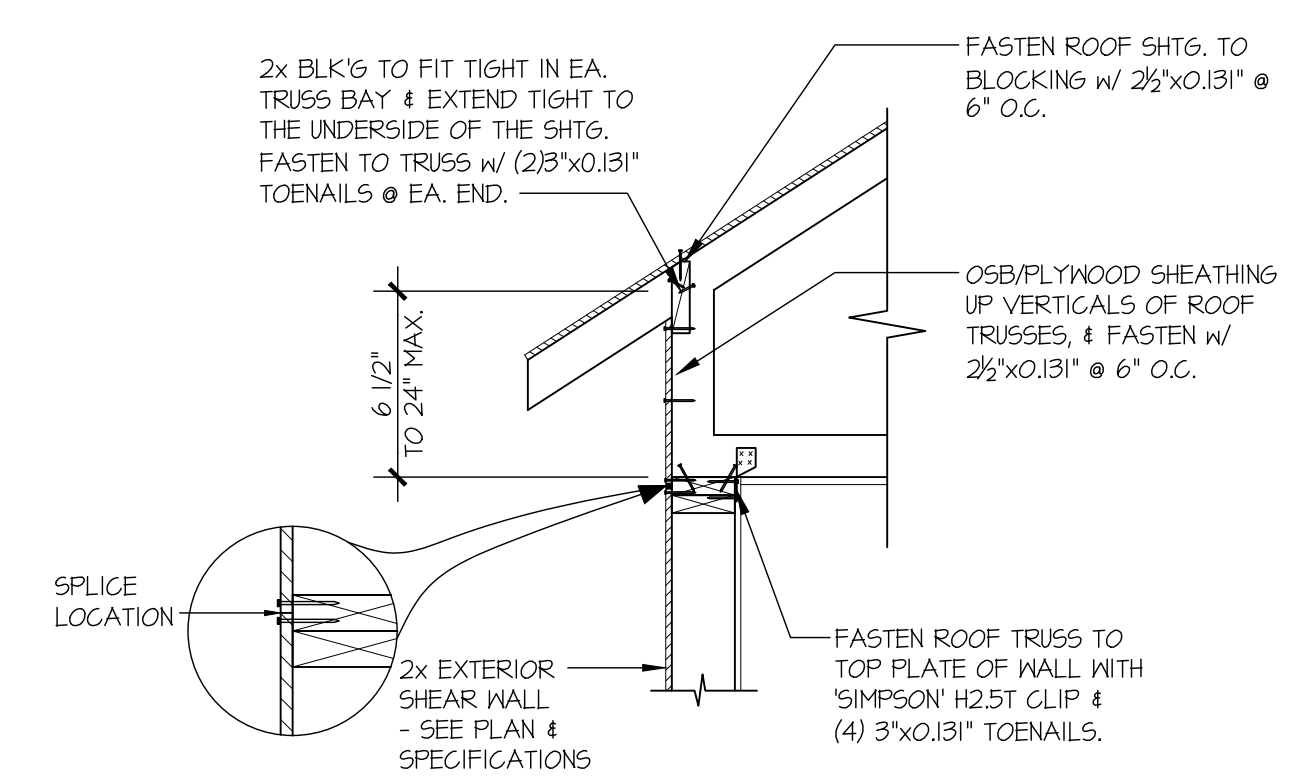
M&K project number:
203-22010
project mgr: NJM
drawn by: LGH
issue date: 05-04-22

REVISIONS:	
date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH
PRE FILE REVISION	

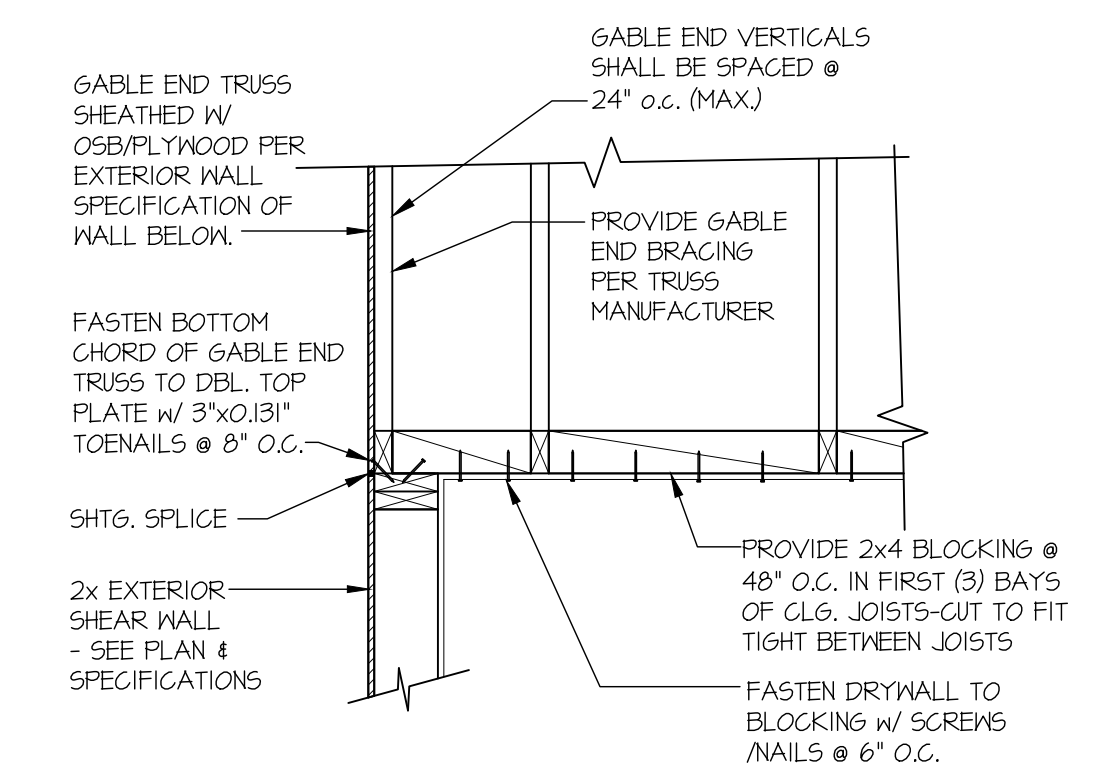
ARCHITECTURAL
INNOVATIONS

STRUCTURAL DETAILS
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

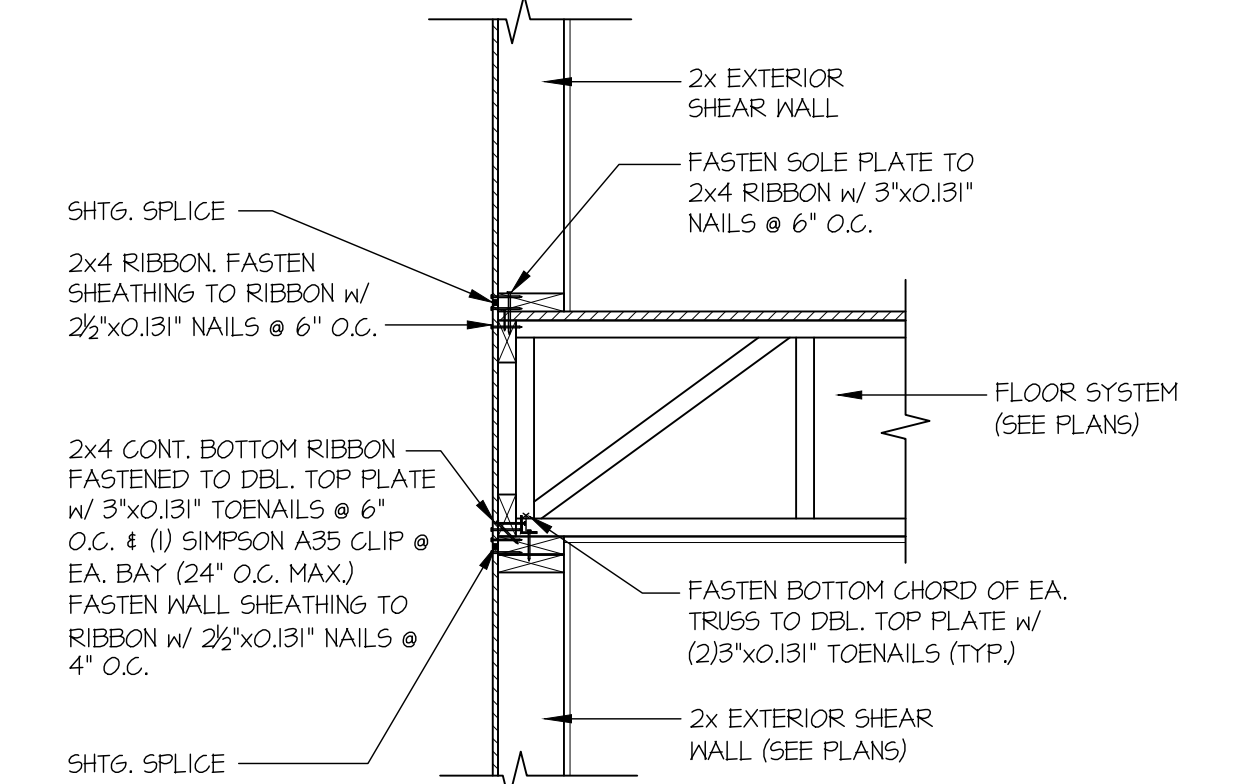
sheet:
SD-2



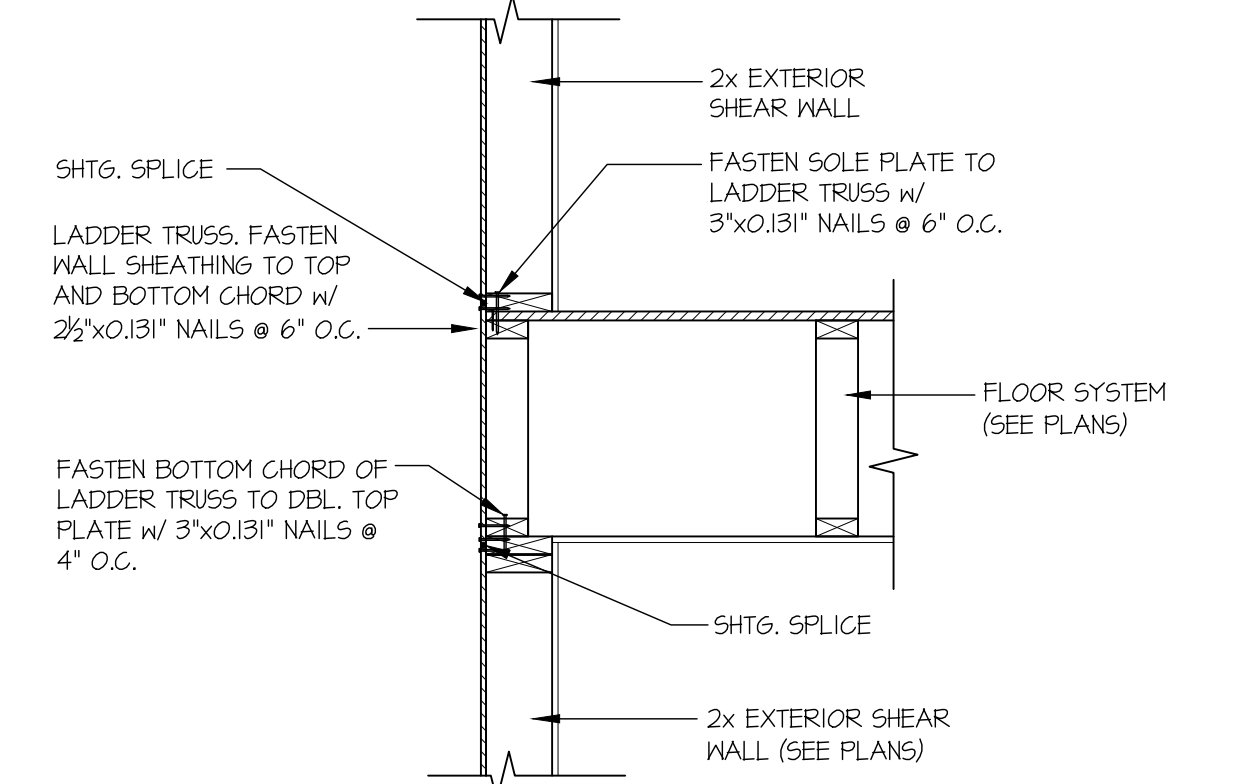
1 TYPICAL SHEAR TRANSFER
DETAIL @ RAISED HEEL TRUSS
SCALE: 3/4"=1'-0" HEEL HEIGHT UP TO 24" MAX.



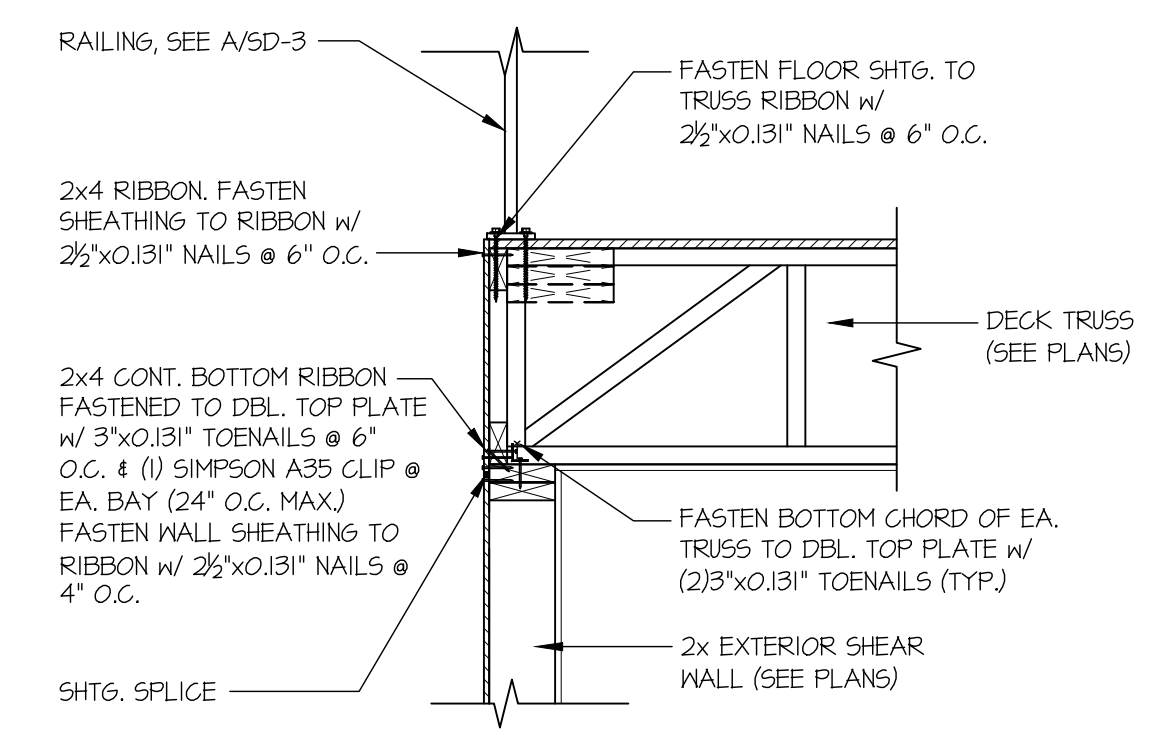
2 TYPICAL GABLE END DETAIL
SCALE: 3/4"=1'-0"



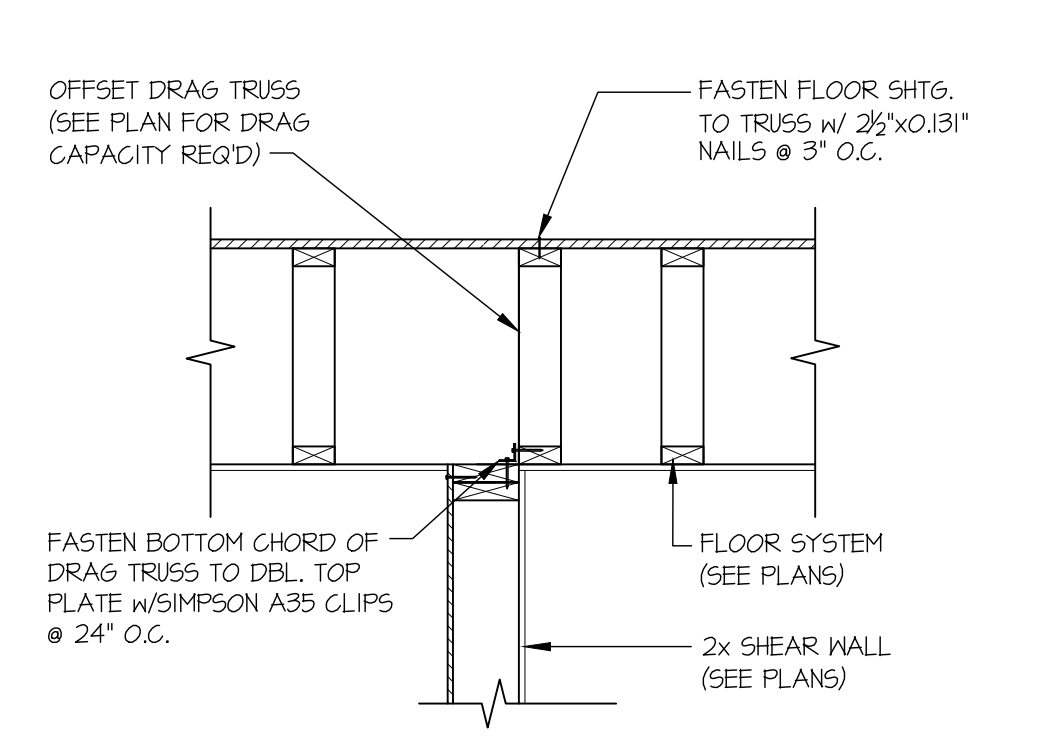
3 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



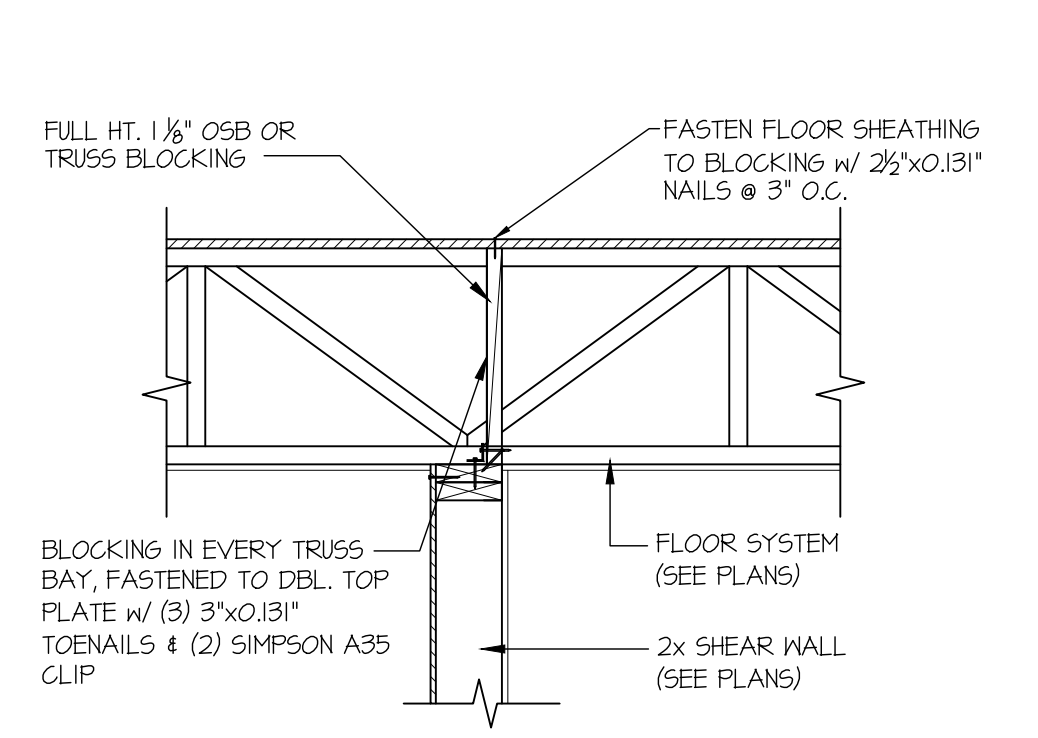
4 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PARALLEL FRAMING



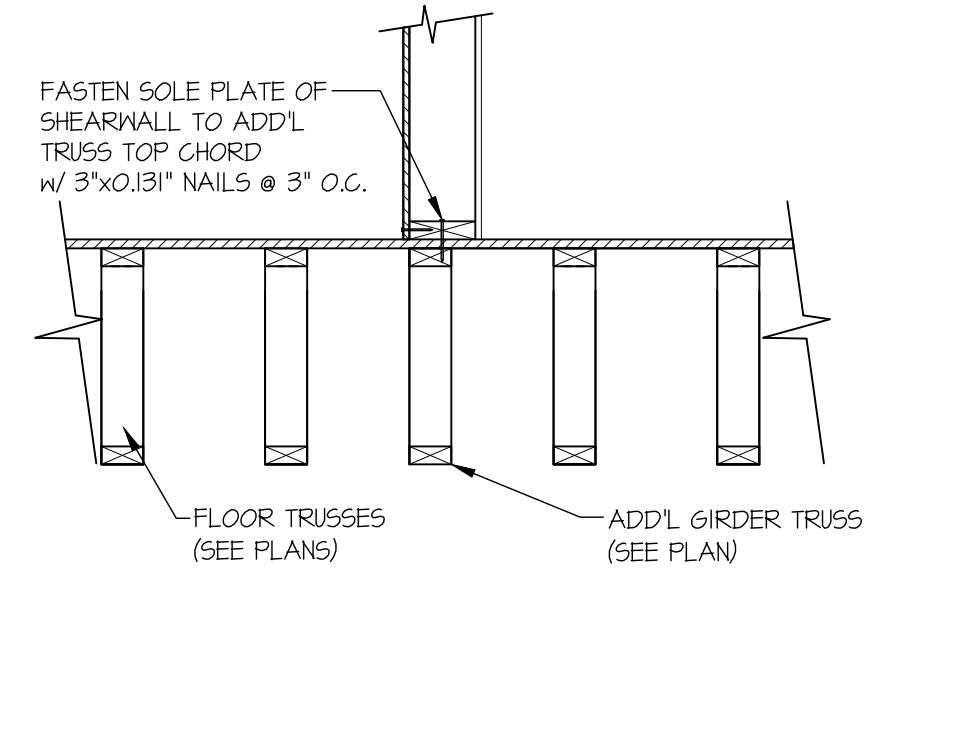
5 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN DECK @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



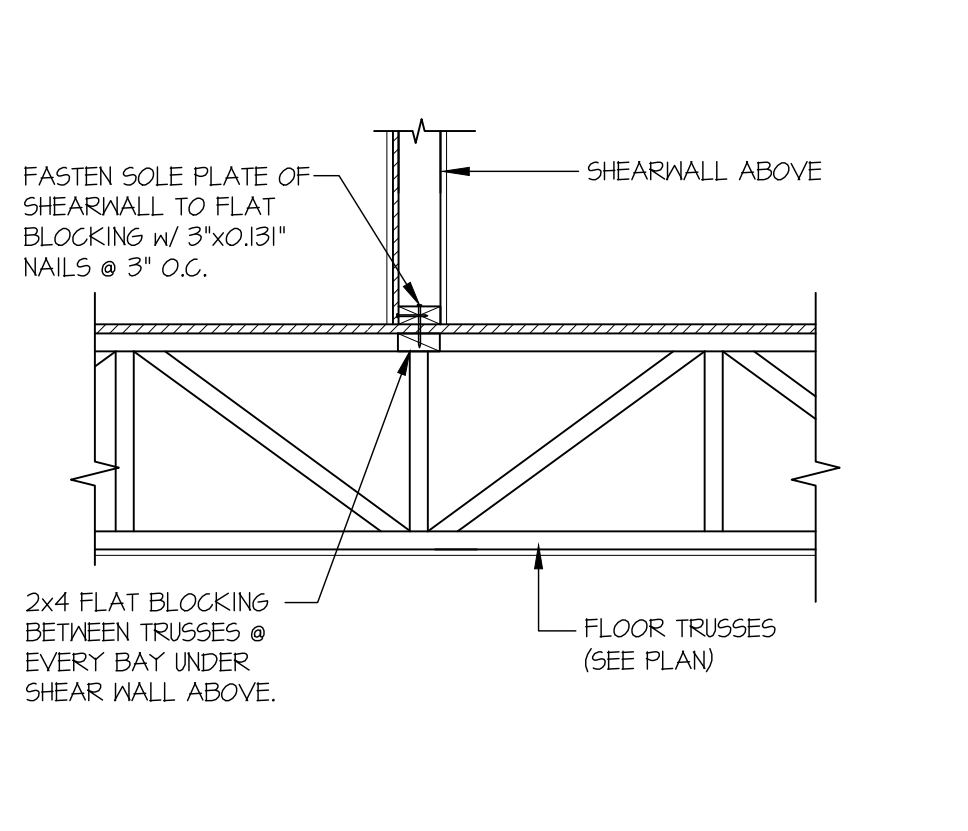
12 SHEAR TRANSFER DETAIL
@ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



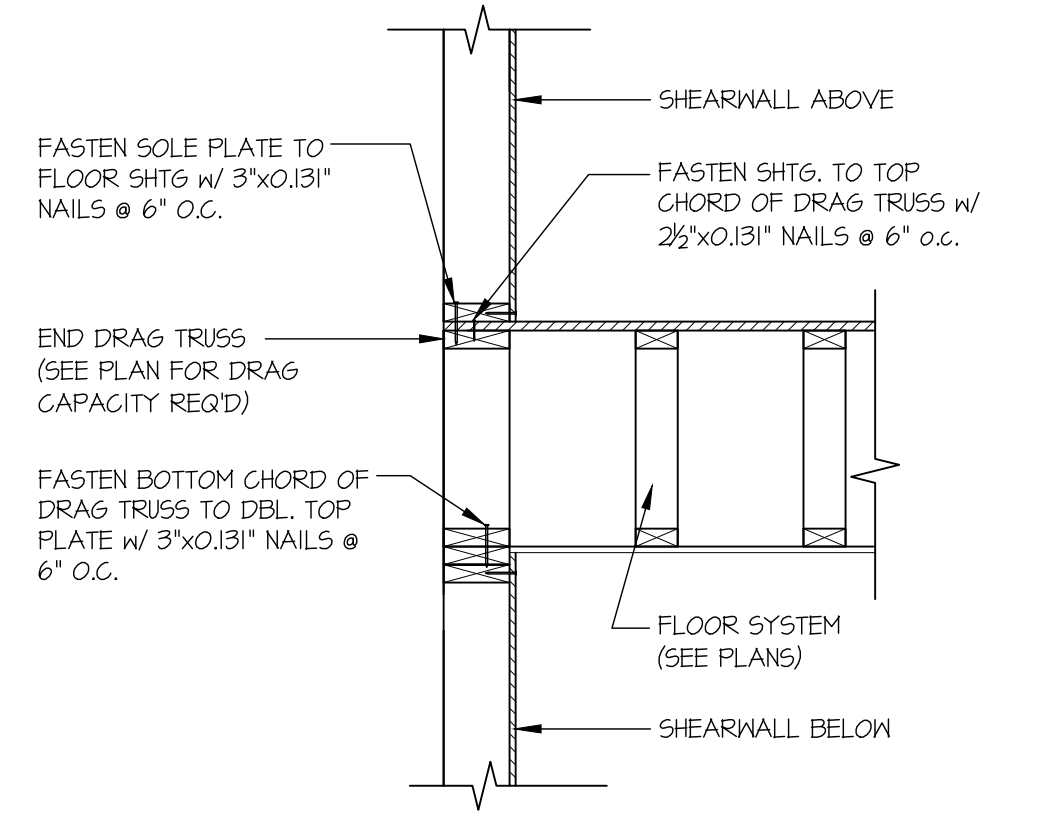
14 SHEAR TRANSFER DETAIL
@ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



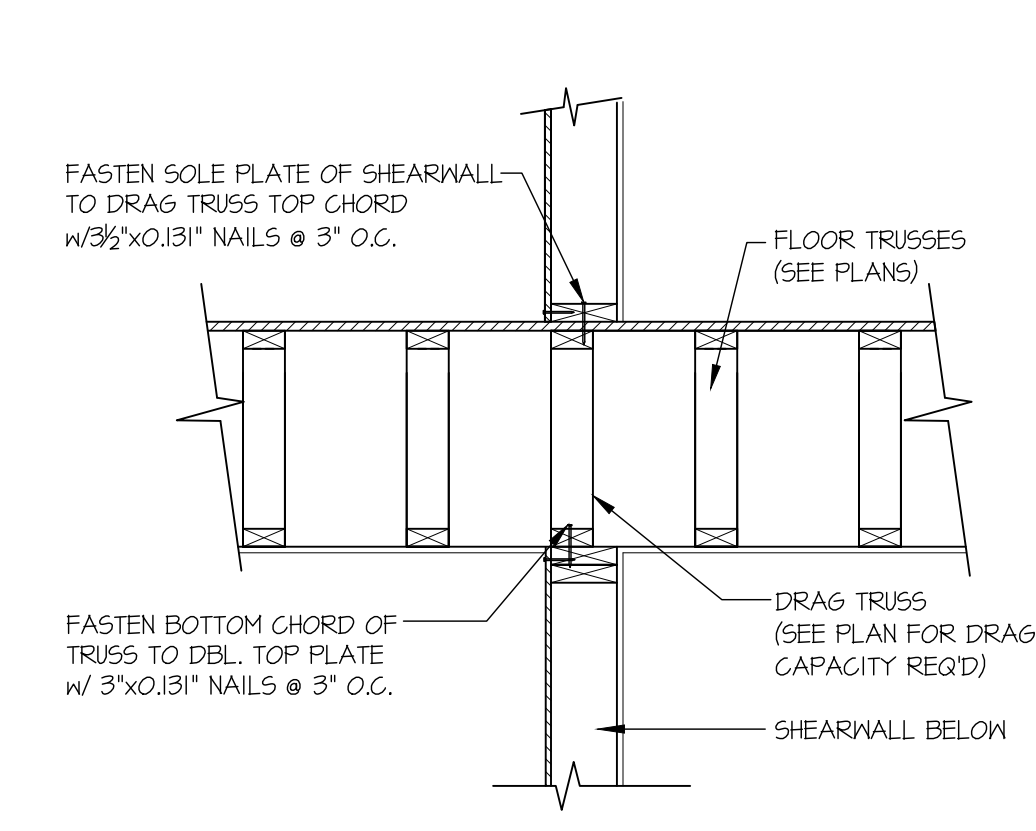
19 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PARALLEL FRAMING



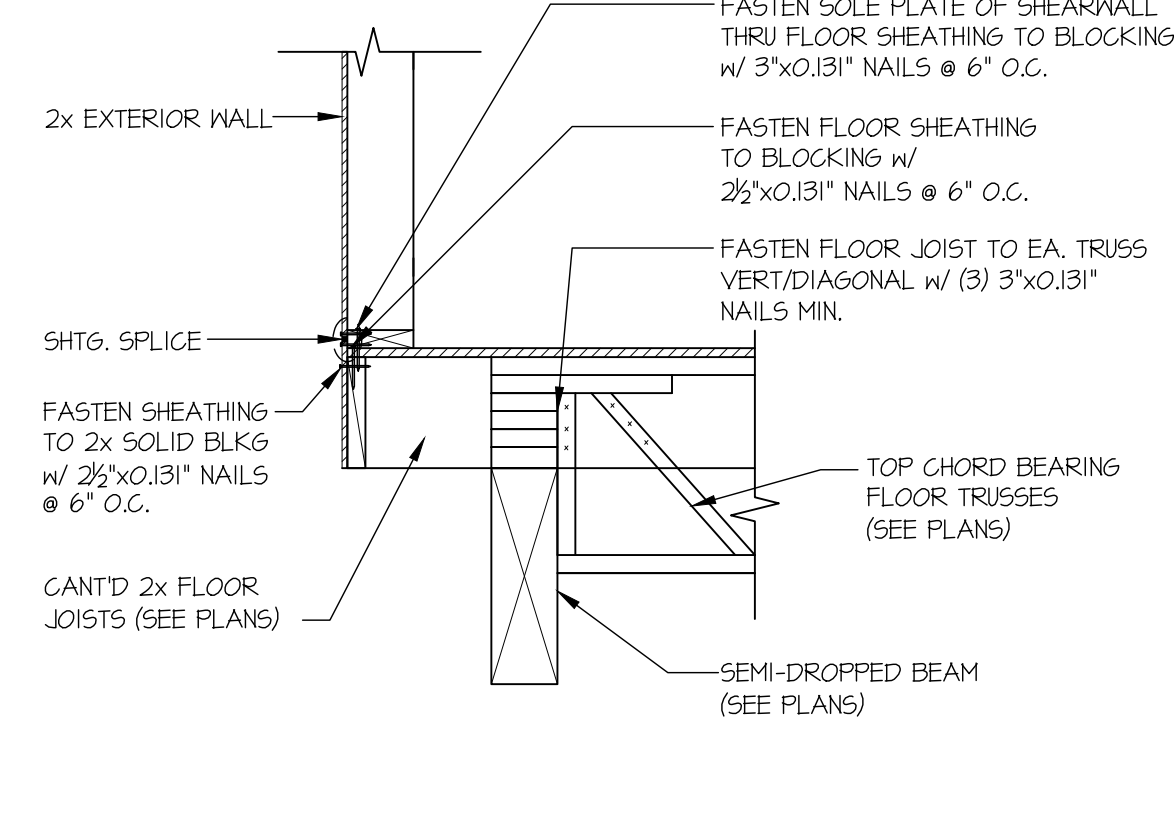
20 SHEAR TRANSFER DETAIL
@ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



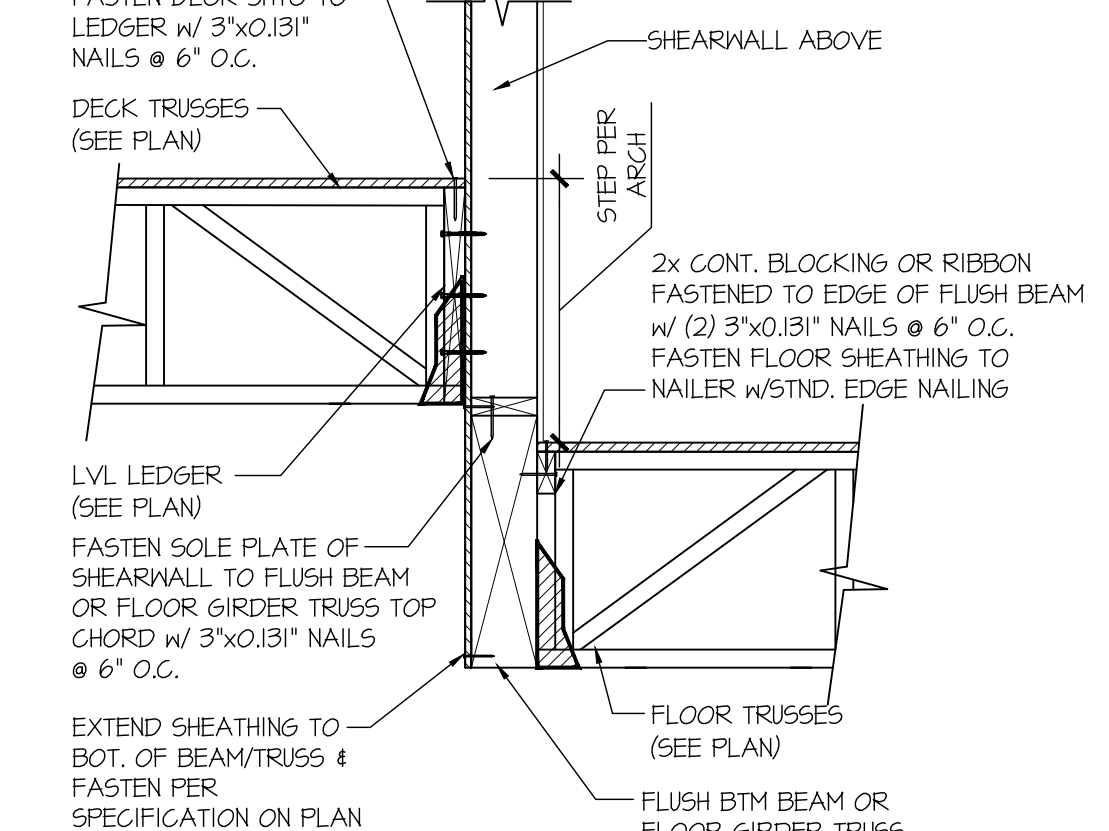
22 TYPICAL SHEAR TRANSFER DETAIL
BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



23 SHEAR TRANSFER DETAIL
@ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0"



31 SHEAR TRANSFER DETAIL BETWEEN
FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0"



40 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 • mulhernkulp.com

M&K project number:
203-22010

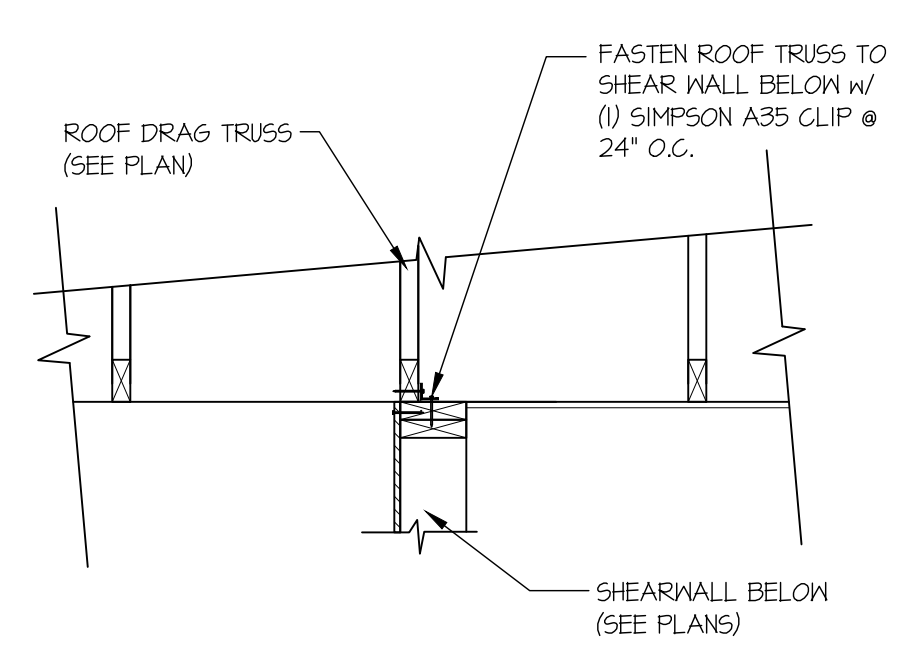
project mgr: **NJM**
drawn by: **LGH**
issue date: **05-04-22**

REVISIONS:	
date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH
PRE FILE REVISION	

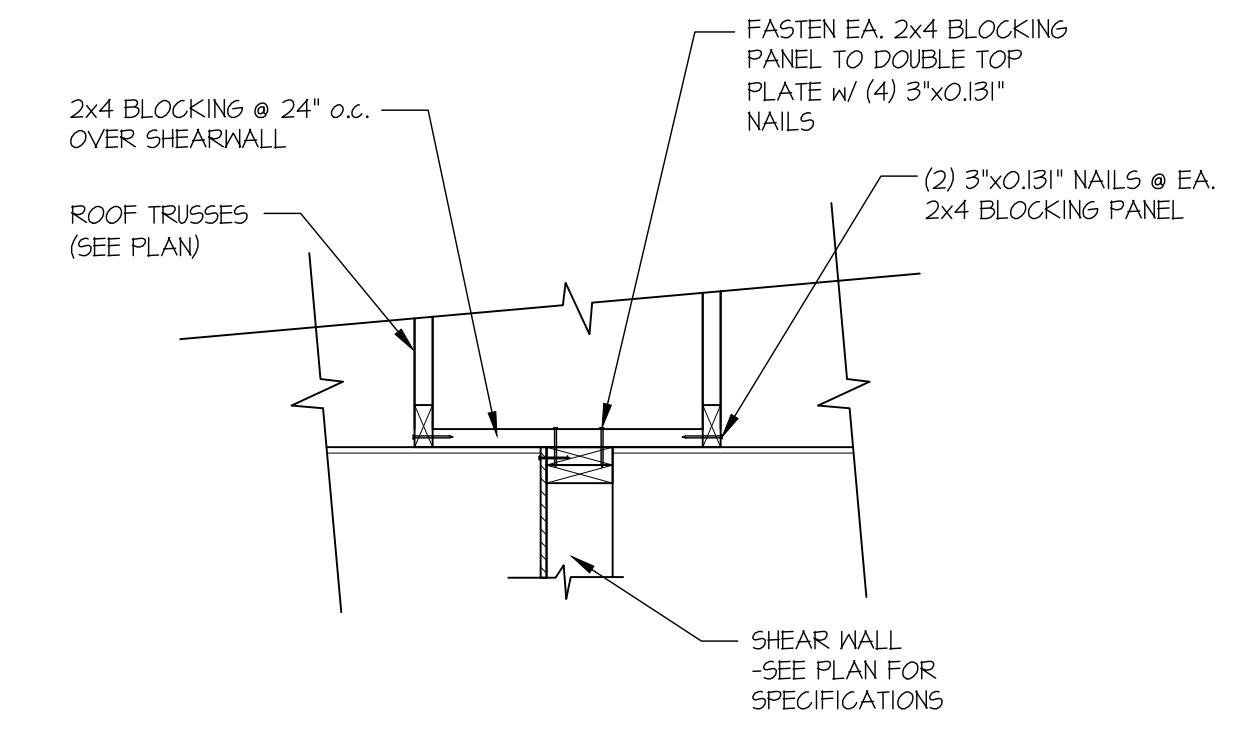
ARCHITECTURAL
INNOVATIONS

STRUCTURAL DETAILS
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

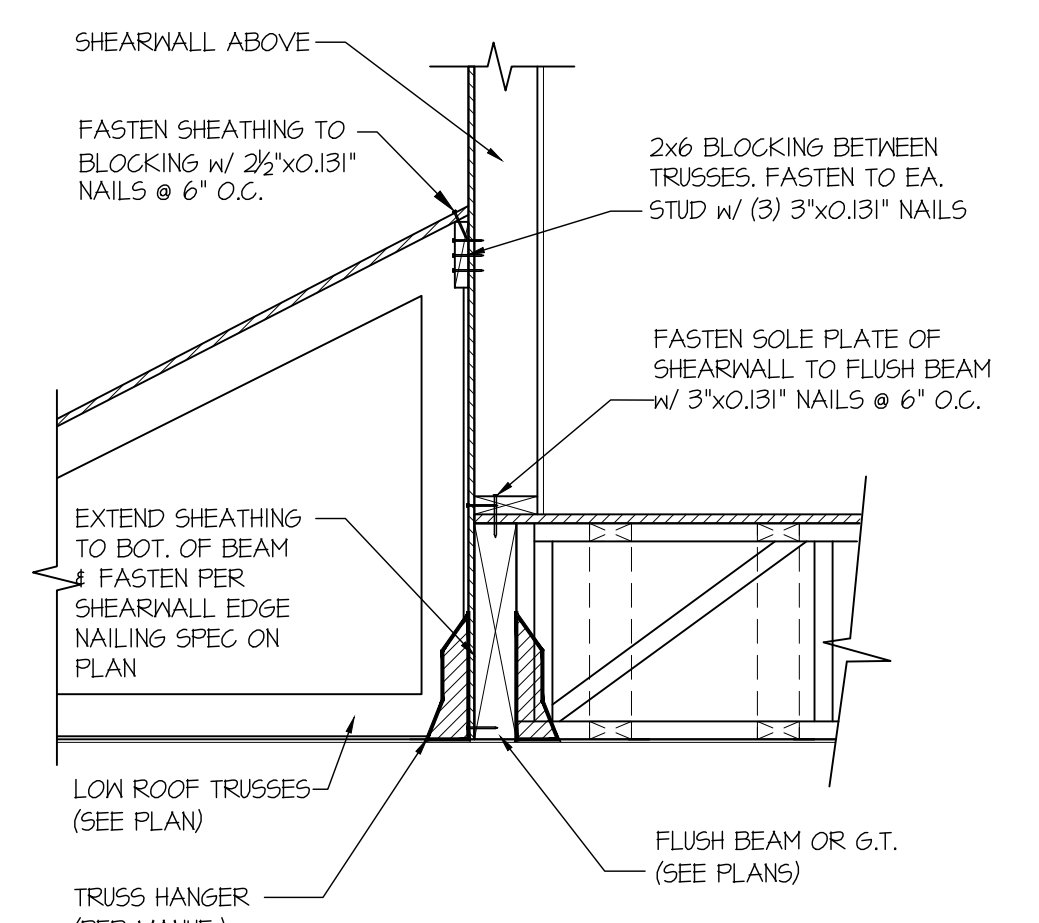
sheet:
SD-3



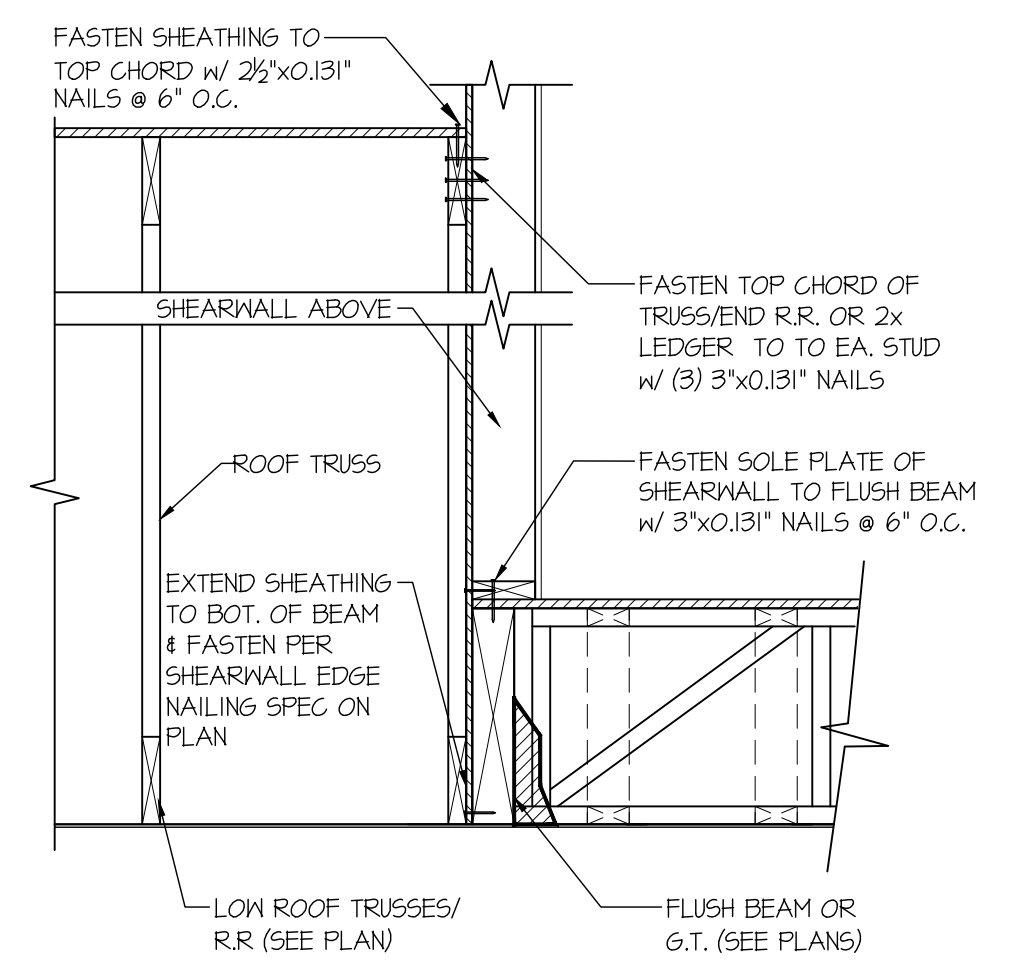
47 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"



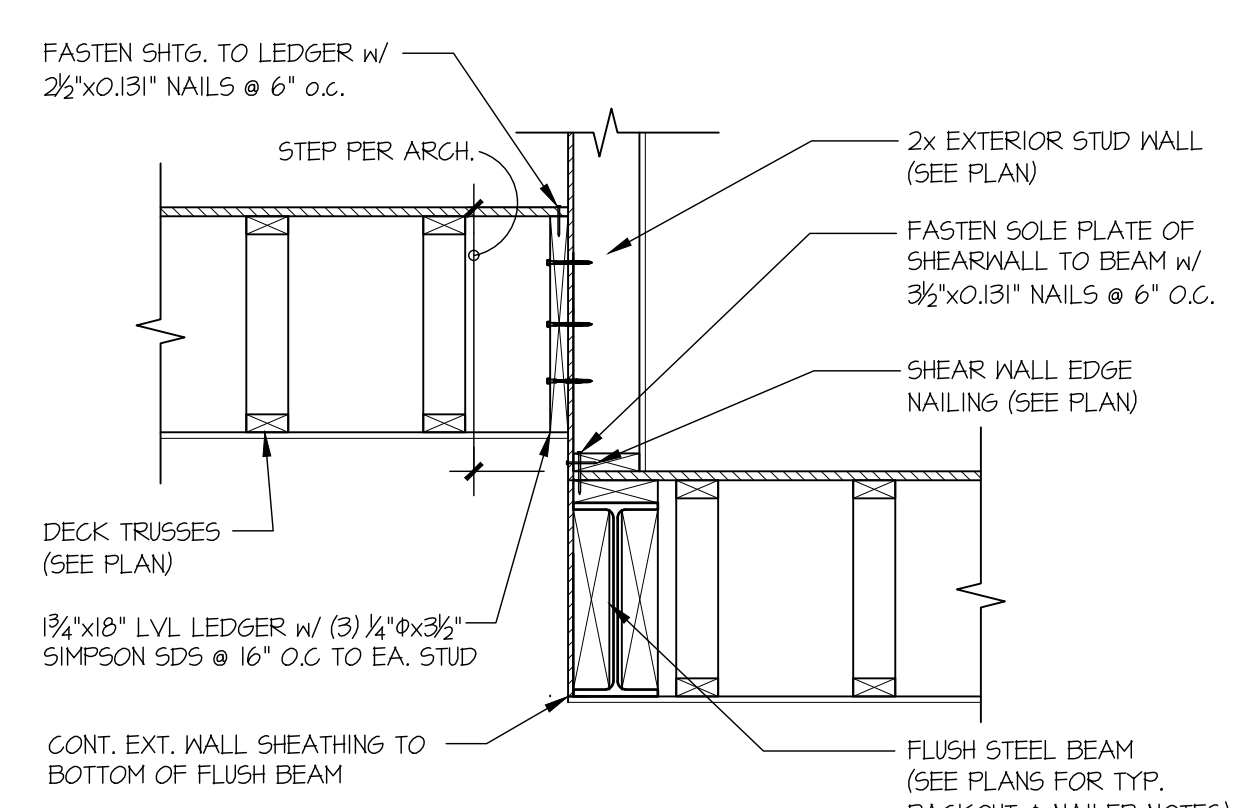
48 SHEAR TRANSFER DETAIL @
INTERIOR SHEARWALL BELOW
SCALE: 3/4"=1'-0"



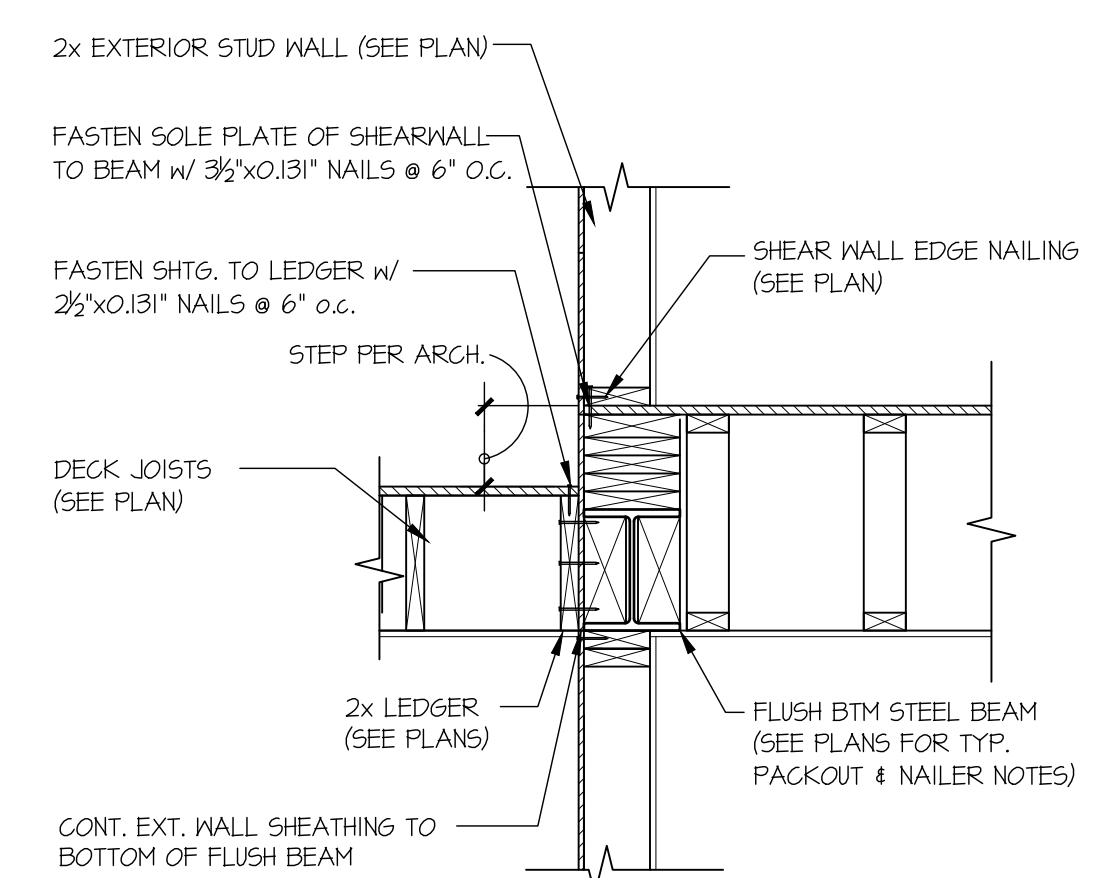
50 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



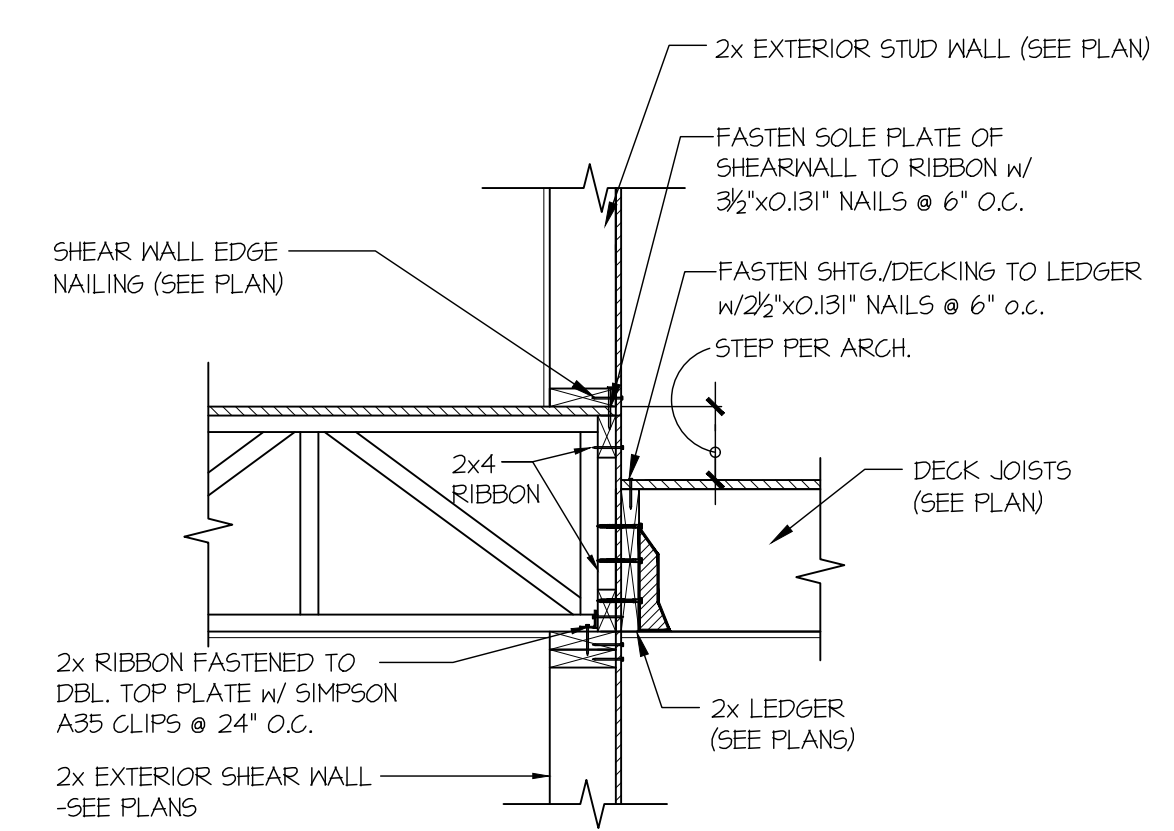
54 SHEAR TRANSFER DETAIL @
EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



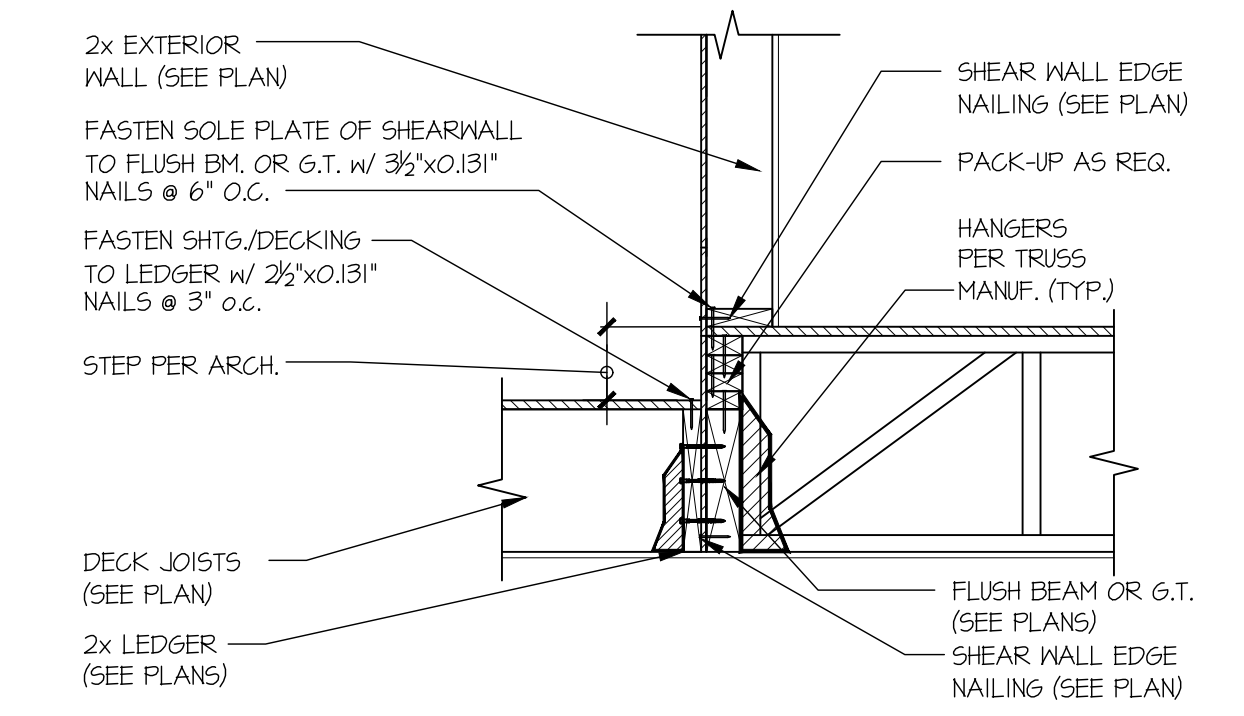
72 TYPICAL SHEAR TRANSFER
DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"



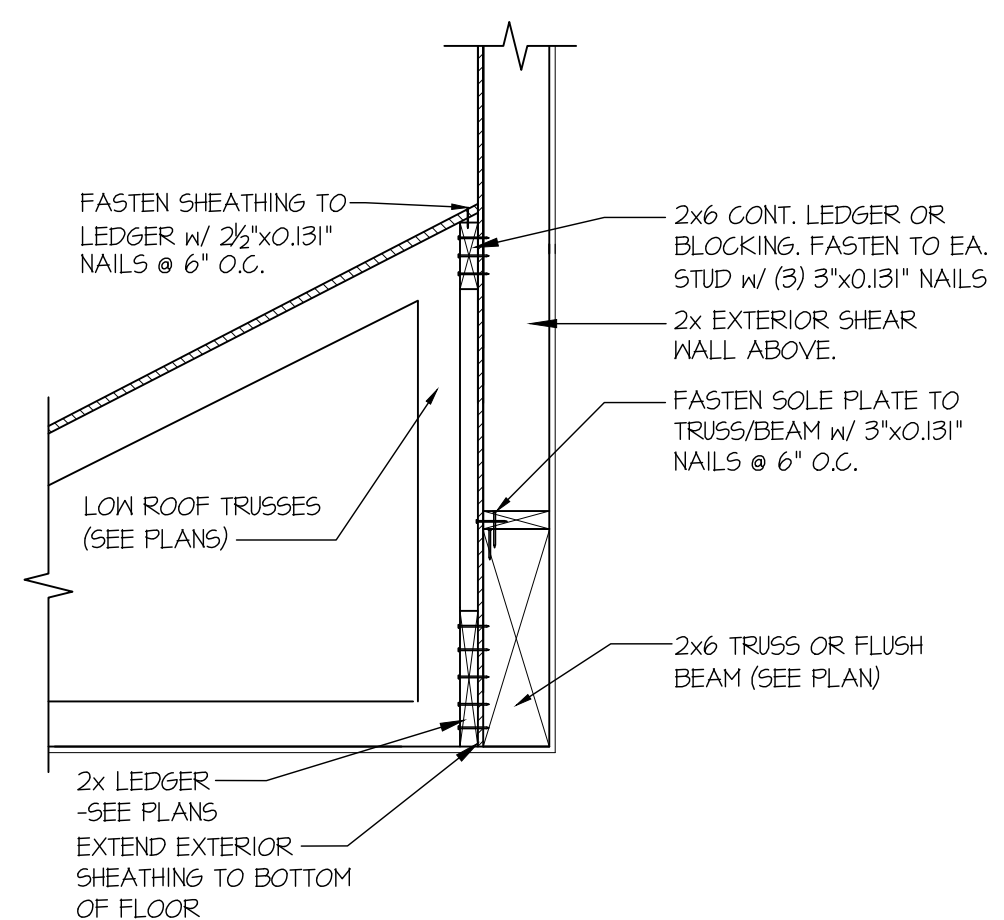
78 TYPICAL SHEAR TRANSFER
DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"



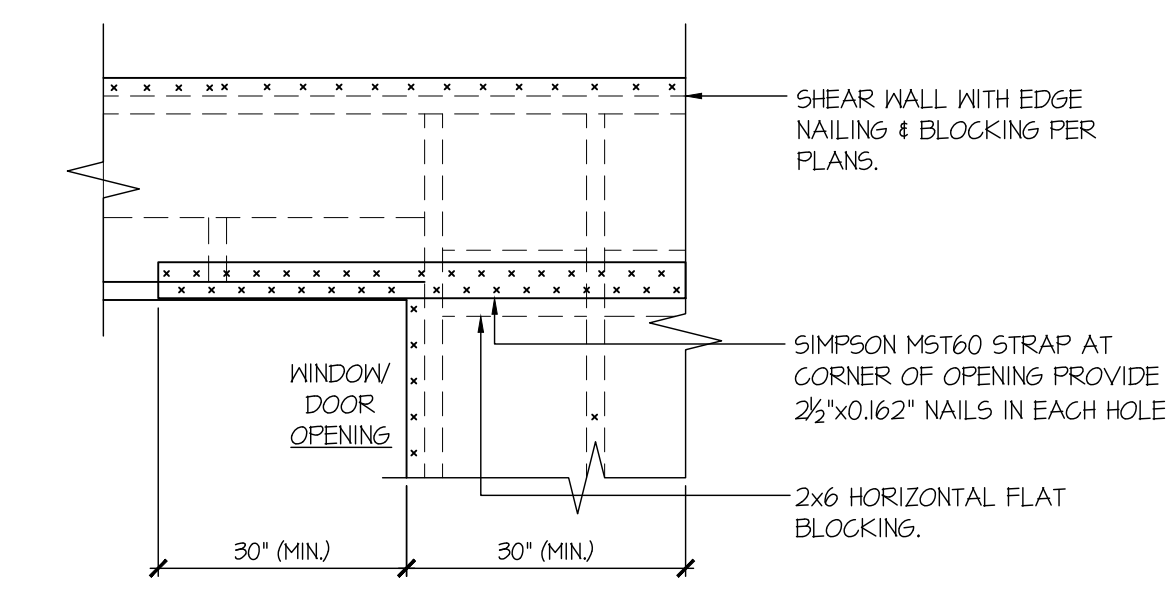
79 TYPICAL SHEAR TRANSFER
DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"



83 SHEAR TRANSFER DETAIL @ EXT.
DECK FRAMING
SCALE: 3/4"=1'-0"

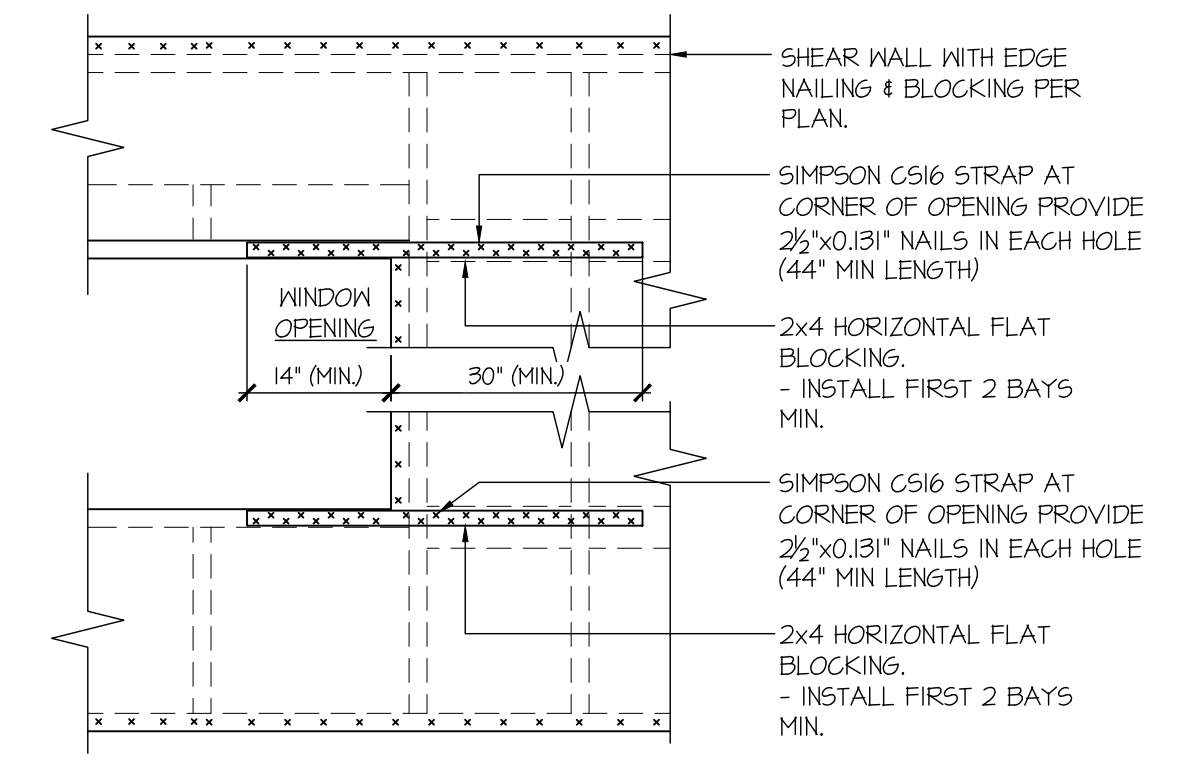


88 SECTION
SCALE: 3/4"=1'-0"



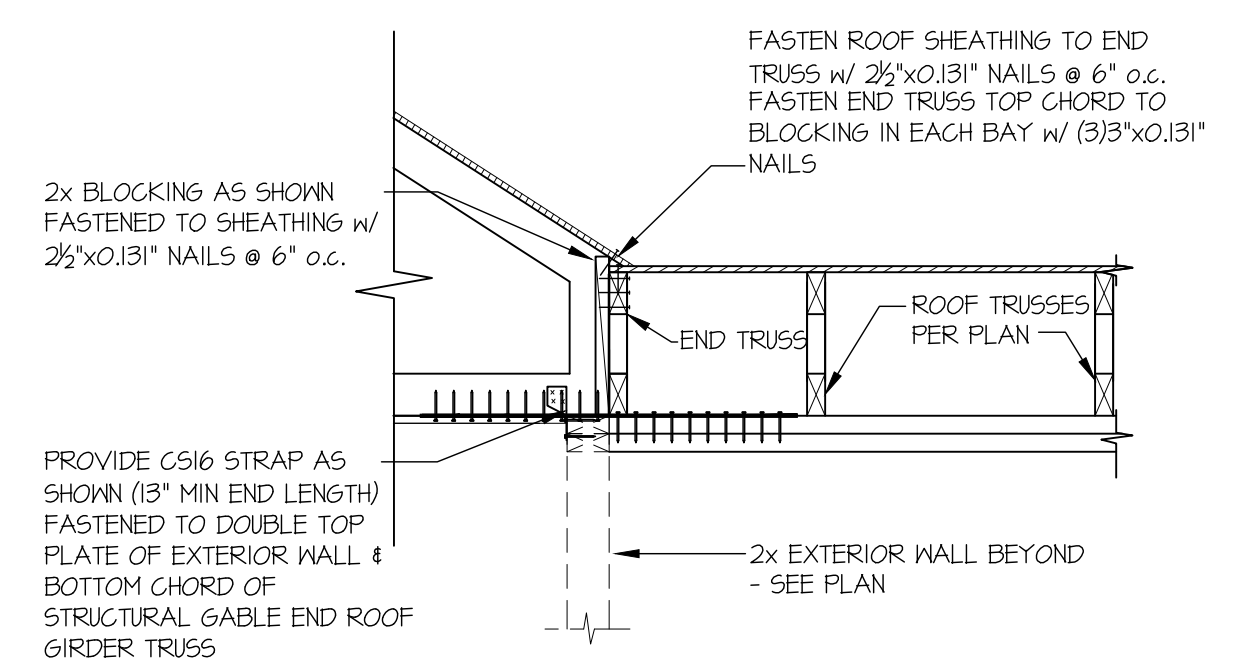
- DETAIL SIMILAR AT BOTTOM CORNERS OF WINDOWS.
- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

92 EXT. WALL & INT. SHEARWALL
OPENING ELEVATION
SCALE: NTS

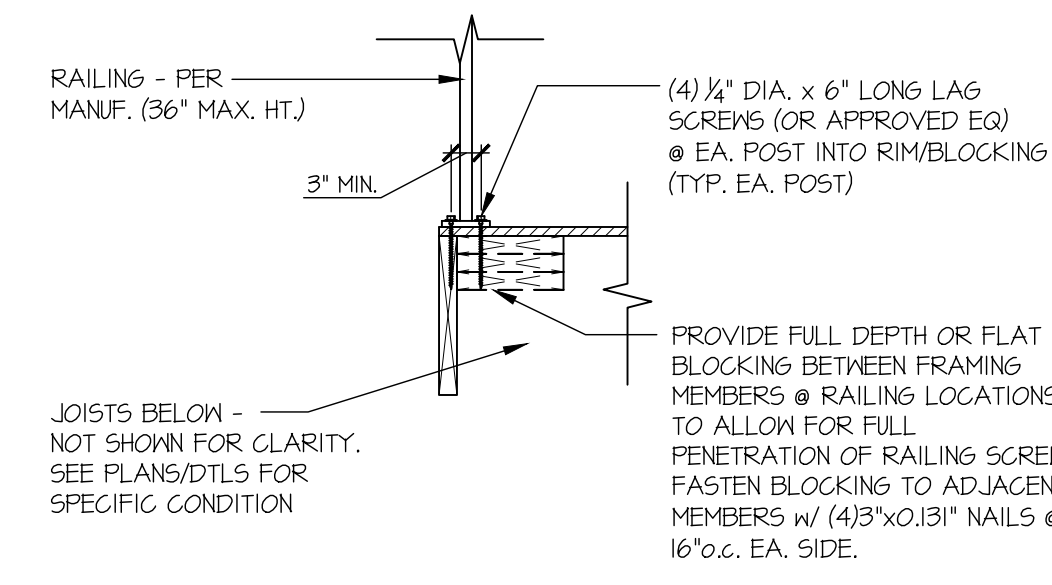
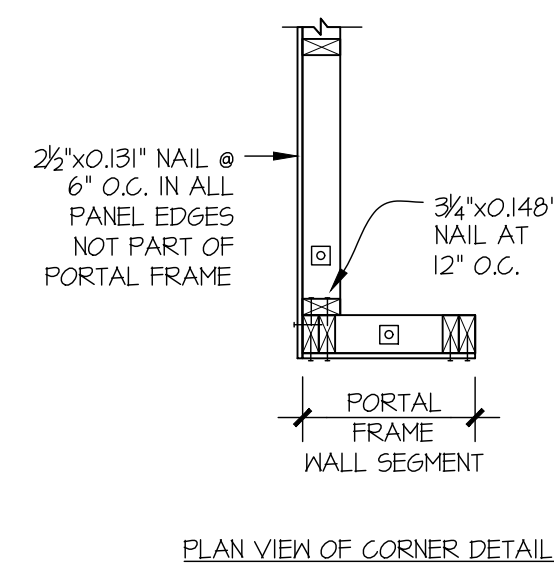
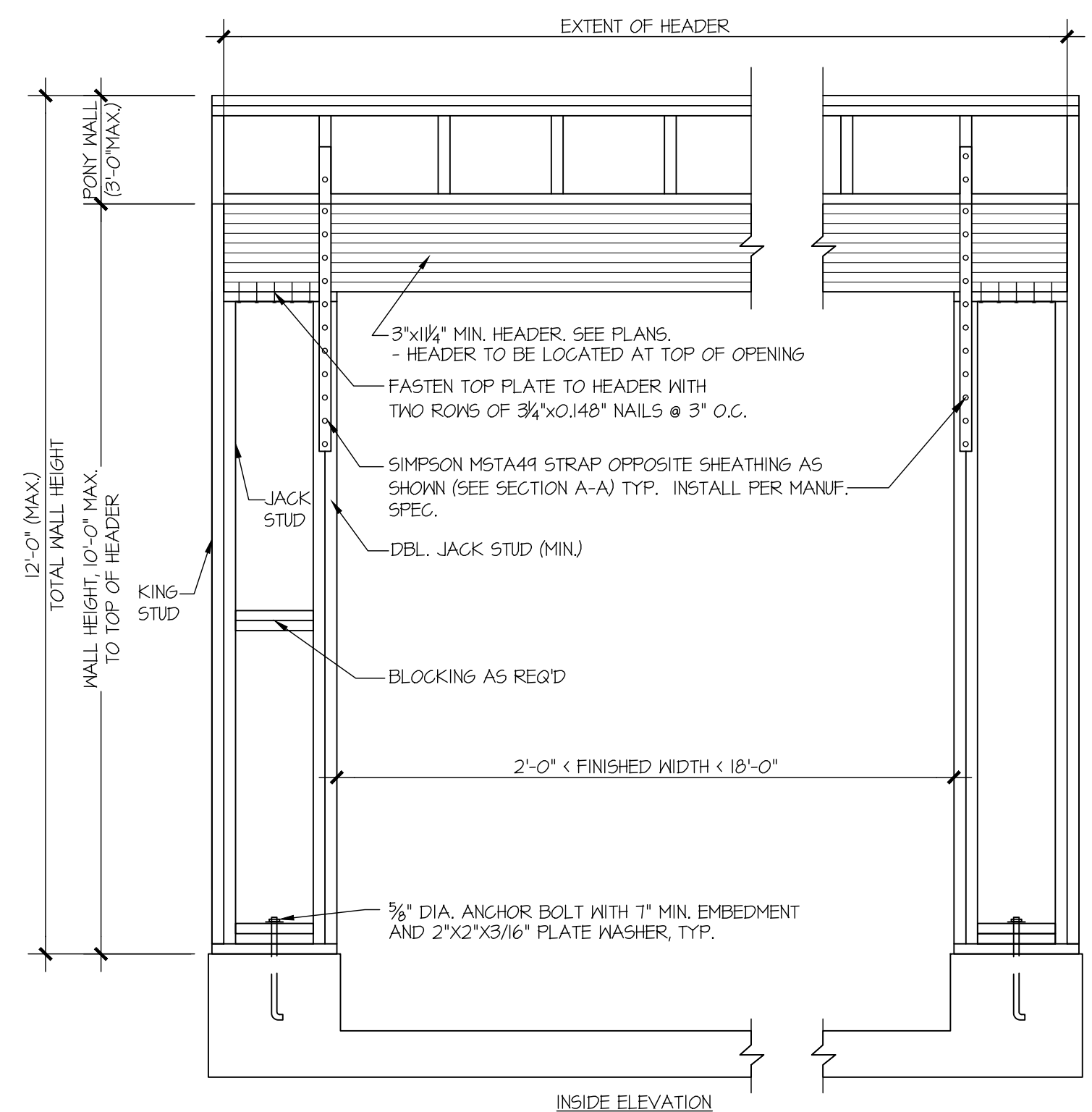
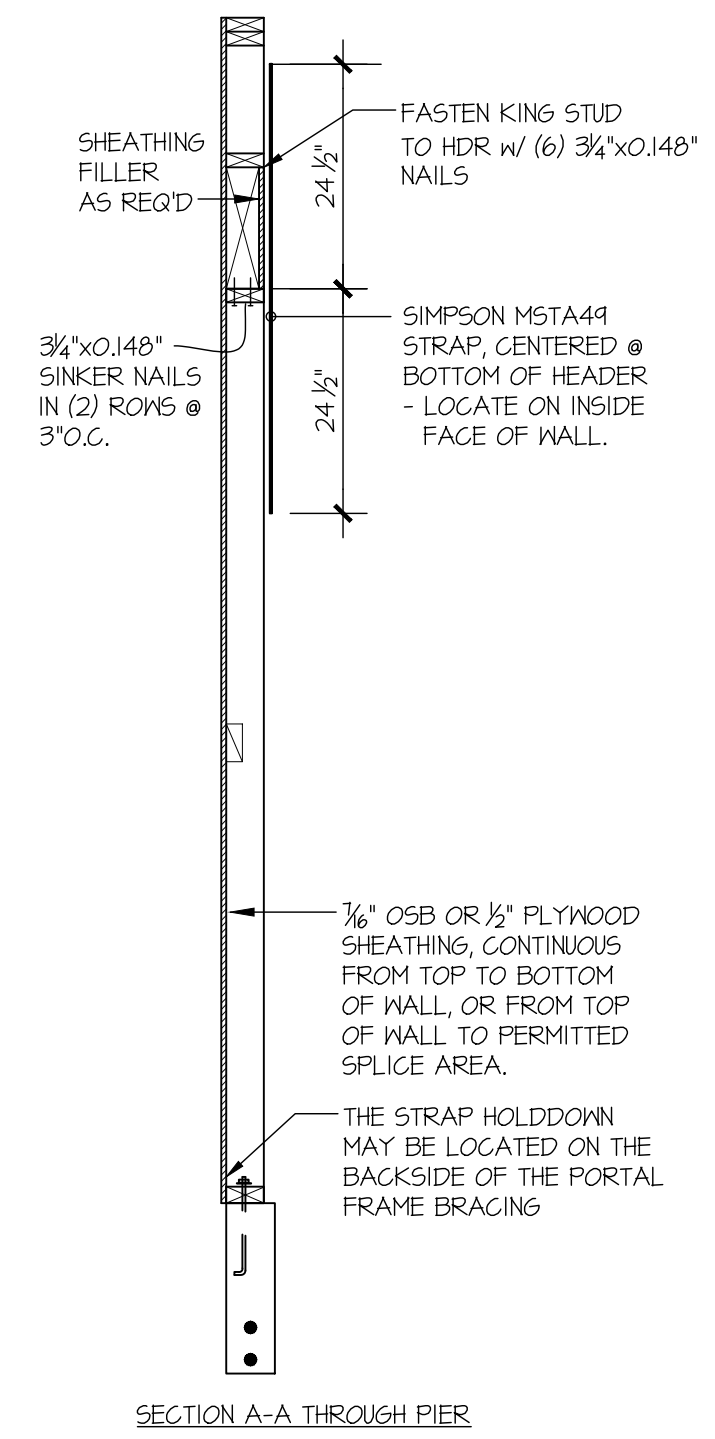
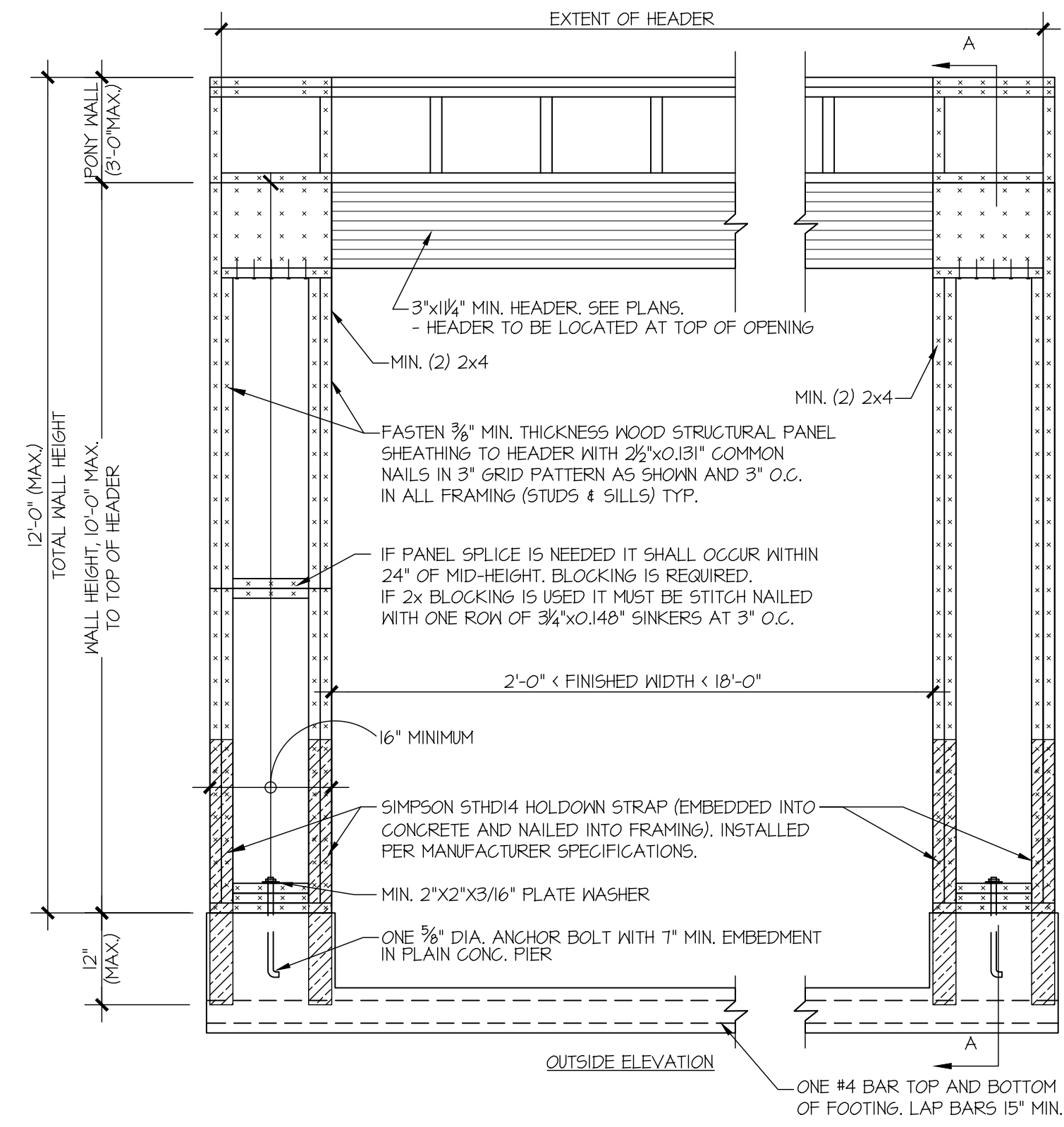


- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

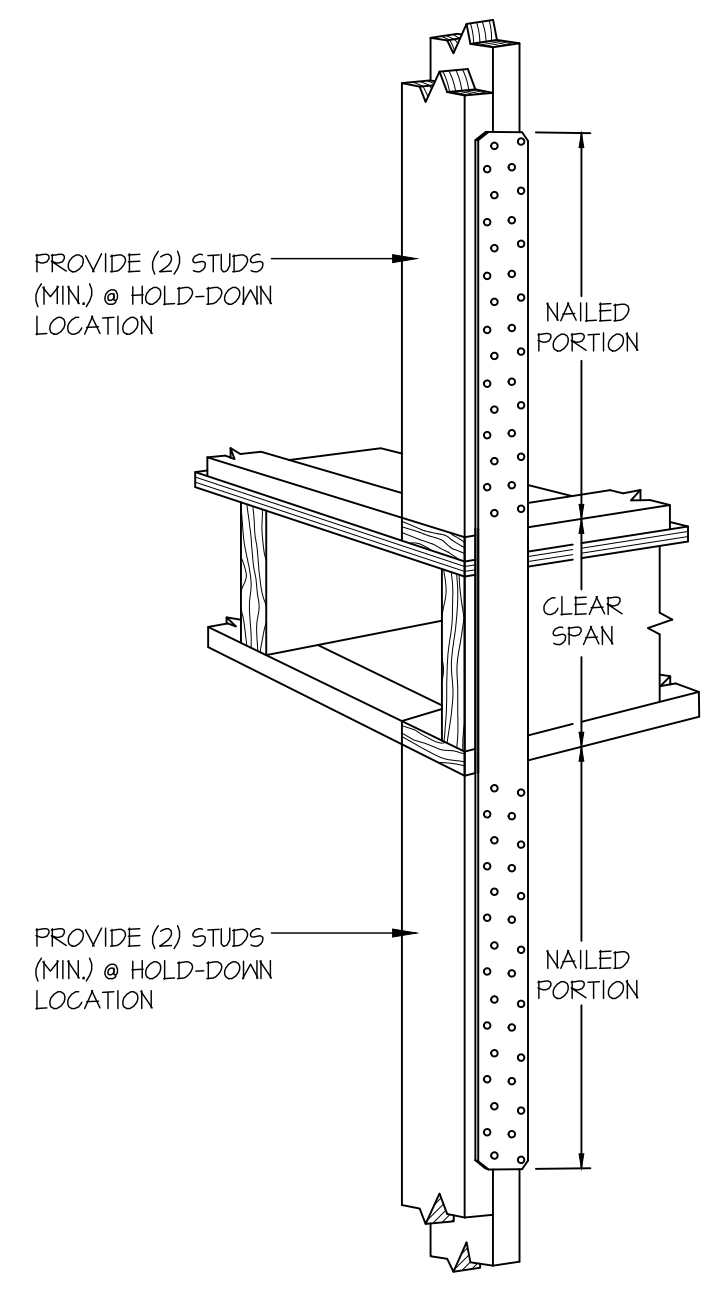
94 EXT. WALL & INT. SHEARWALL
OPENING ELEVATION
SCALE: NTS



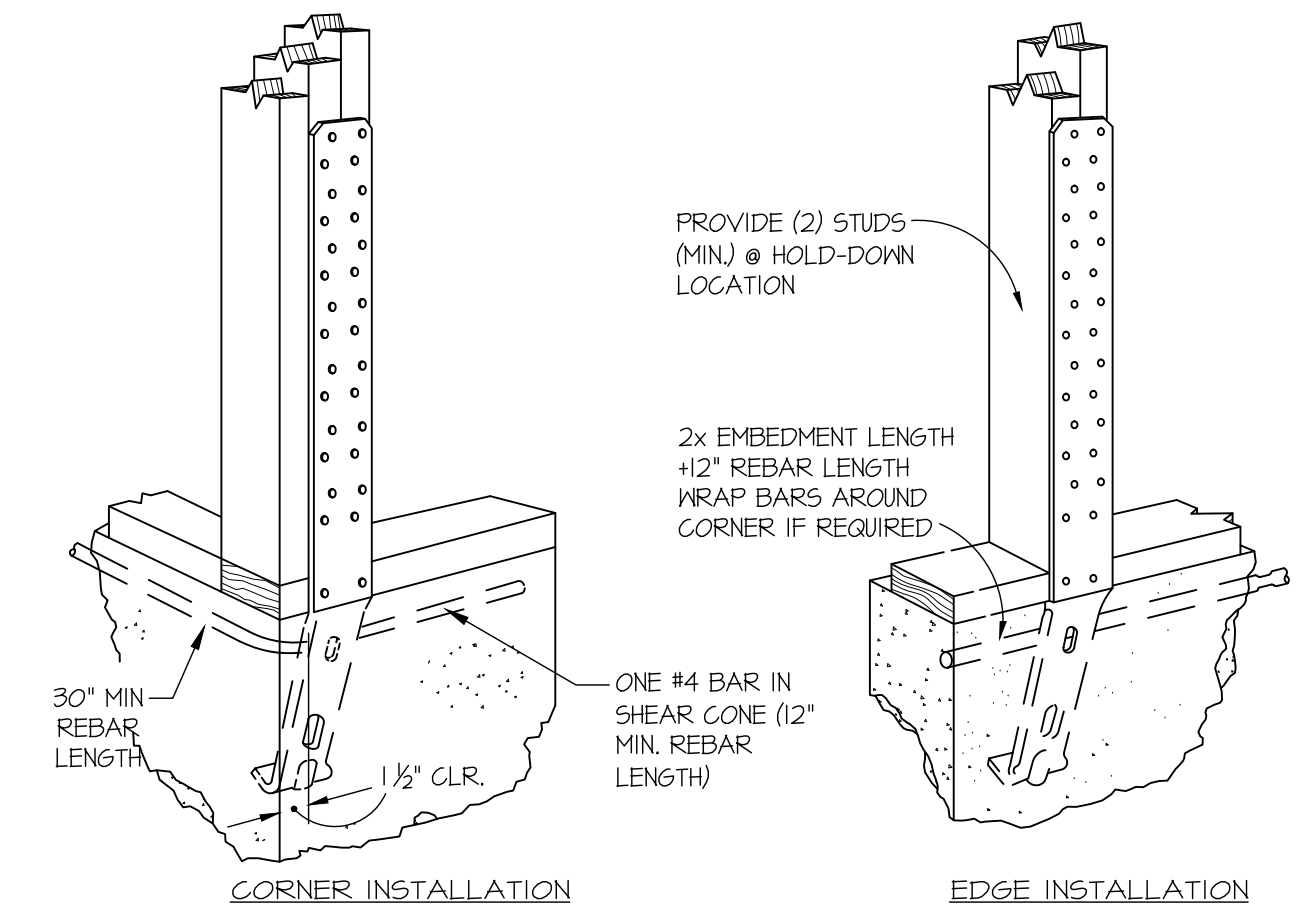
117 STRAP DETAIL
SCALE: 3/4"=1'-0"



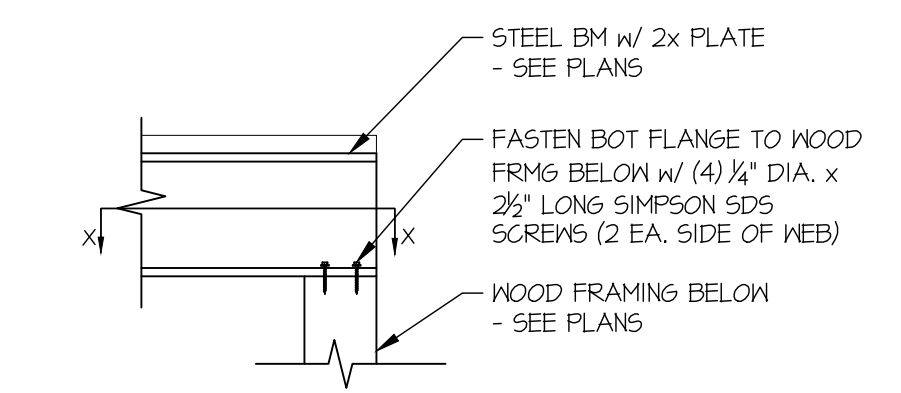
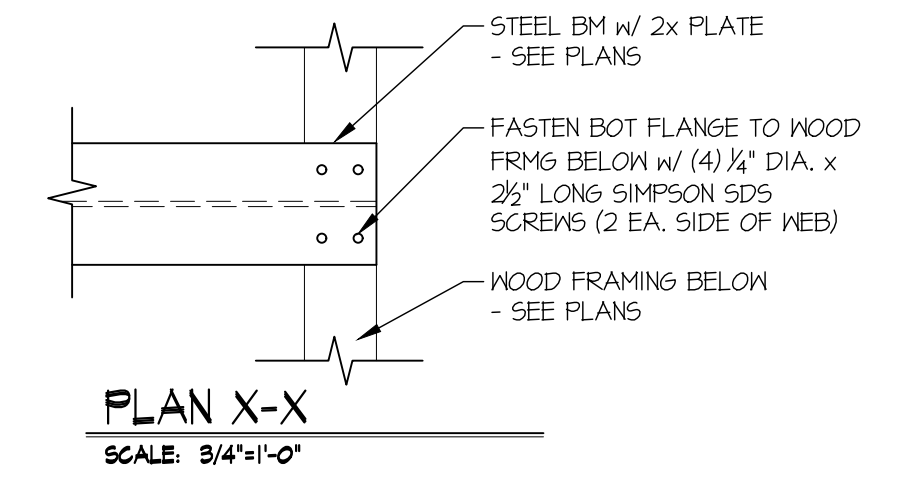
A TYP. RAILING CONNECTION
SCALE: 3/4"=1'-0"



C TYPICAL HOLD-DOWN INSTALLATION
SCALE: 3/4"=1'-0"



B TYPICAL HOLD-DOWN INSTALLATION
SCALE: NOT TO SCALE



D STL BM TO WOOD FRMG CONNECTION
SCALE: 3/4"=1'-0"

1 APA PORTAL FRAME DETAIL WITH HOLD-DOWNS
SCALE: N.T.S.



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
7720 Trade Street, Suite 295, San Diego, CA 92121
p 619-560-0010 - mulhern+kulp.com

M&K project number:
203-22010

project mgr: NJM
drawn by: LGH
issue date: 05-04-22

REVISIONS:	
date:	initial:
04/28/2023	LGH
06/21/2023	LGH
10/05/2023	LGH
PRE FILE REVISION	

ARCHITECTURAL INNOVATIONS

STRUCTURAL DETAILS
3036 67TH AVE. SE
MERCER ISLAND, WASHINGTON

sheet:
SD-4