

Rear Elevation

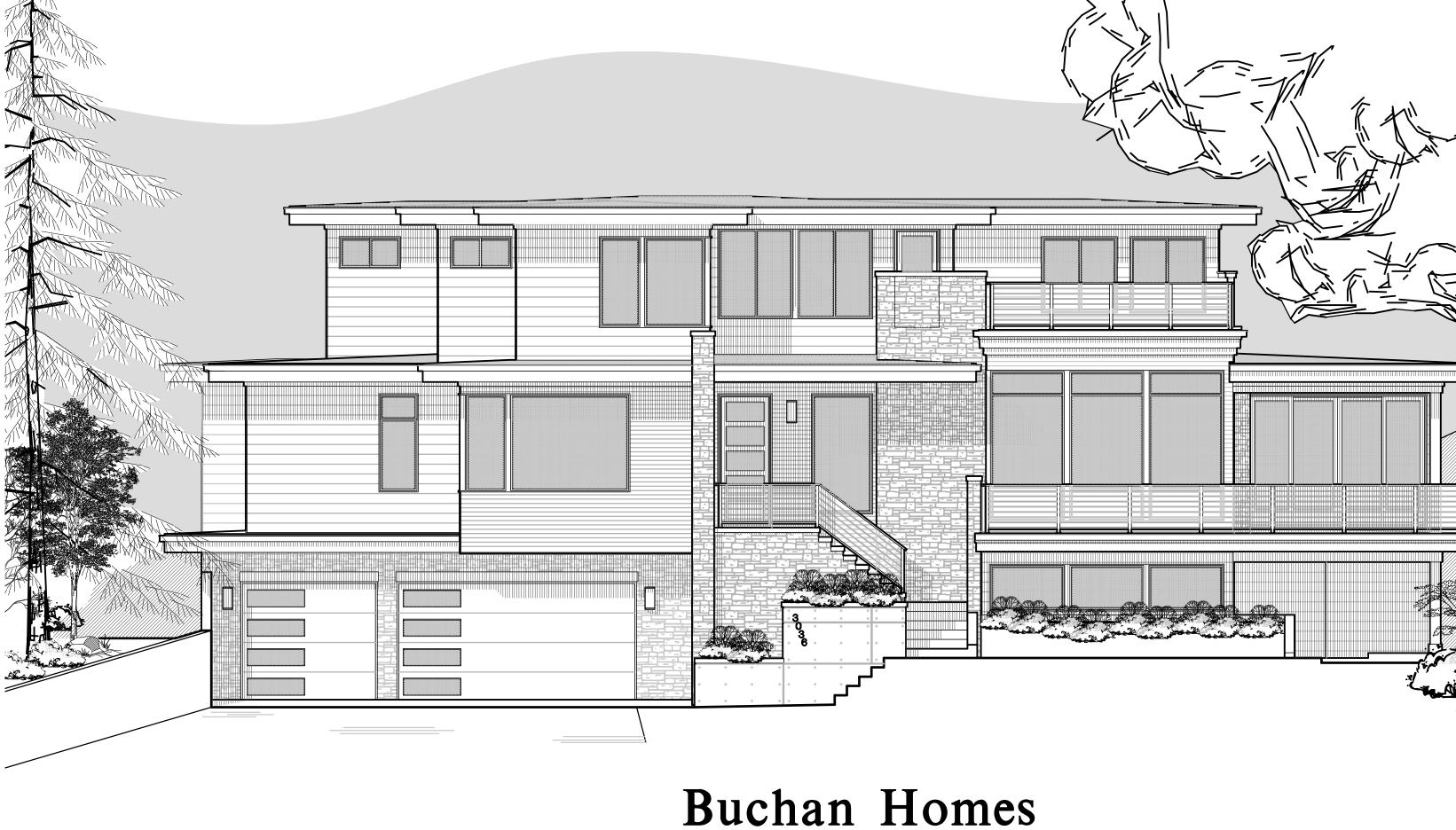




Side Elevation

DRAWING INDEX

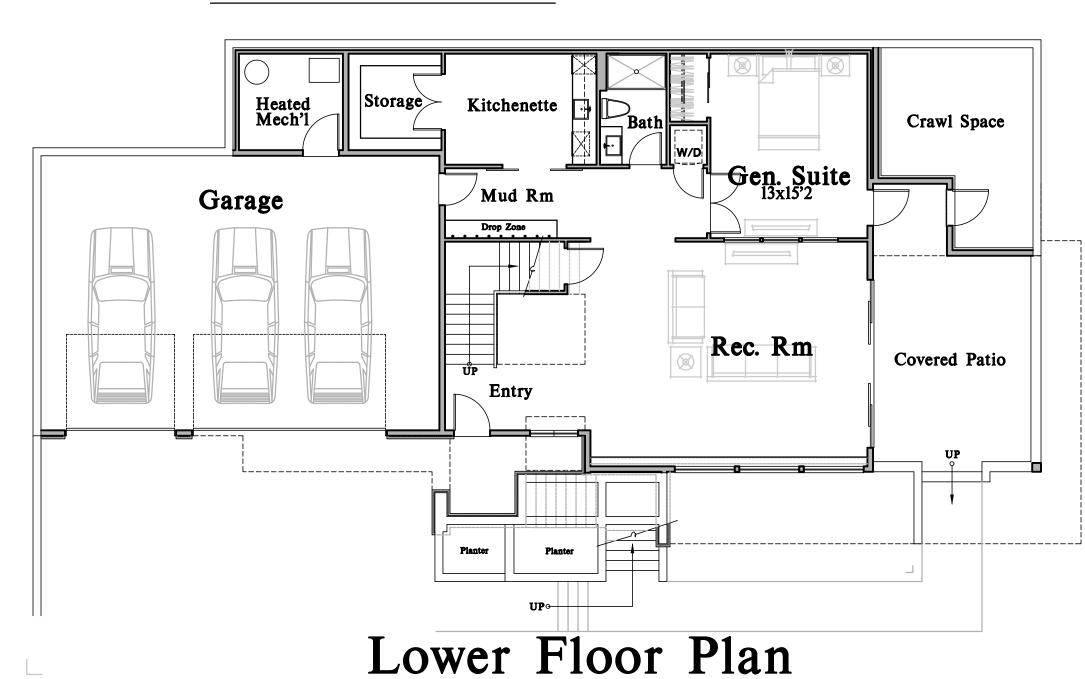
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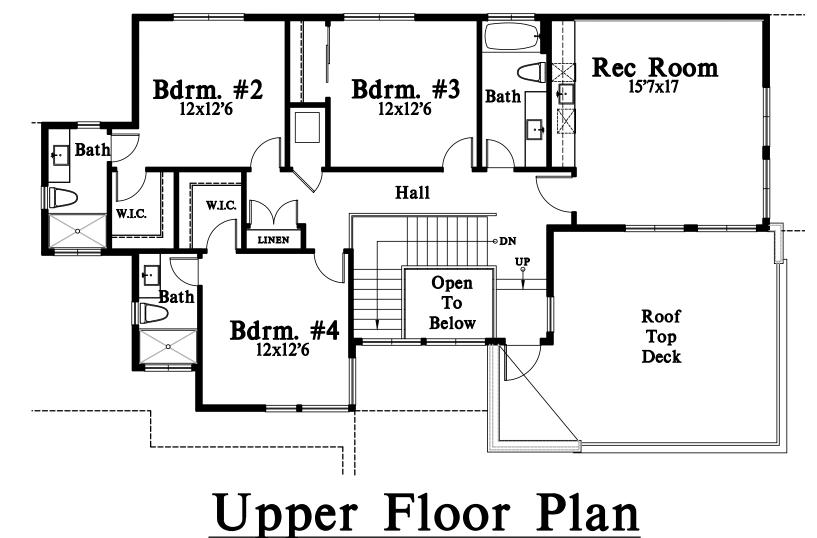


Westview Plan

Permit no. 2210-120 3036 67th Ave SE Mercer Island, WA

NFPA 13D FIRE SPRINKLER SYSTEM TO BE INSTALLED NFPA "CHAPTER 29" FIRE ALARM SYSTEM REQUIRED





SQUARE FOOTAGE

UPPER FLOOR

TOTAL

GARAGE

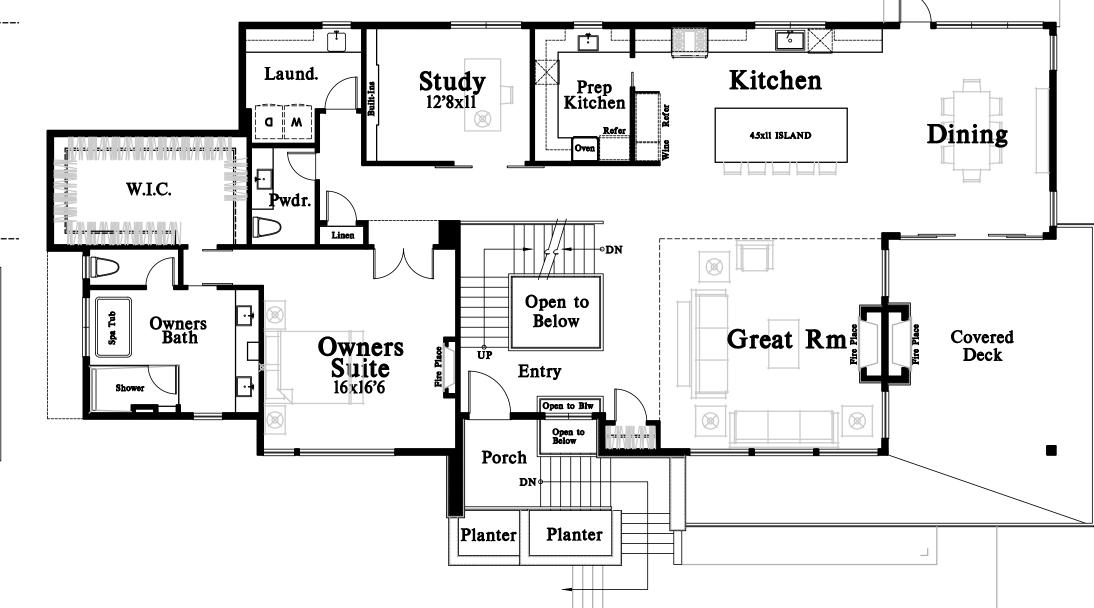
PORCH/DECK

2447 SF 1327 SF

<u>5086</u> sf

<u>897</u> sf

1409 sf



Conc. Patio

JOB NO. : 21076.21 STARTING NO. : 21076.05

SHEET

COVER

SHEET

Main Floor Plan

INNOVATIONS P.S. Report discrepancies and/or omissions to the architect immediately. 6. Due to the nature of construction and the building process there will be bidder design and Contractor/Owner selection of the building products, components, and assemblies. Th set of working drawings is considered a "builder set" and does not include specifications or building materials list. Therefore it is the Contractor/Owners responsibility to provide and coordinate specifications, including product selection and installation or assembly. ARCHITECTURAL INNOVATIONS P.S. assumes no liability or responsibility for discrepancies or conflicts which occur through Contractor/Owner specified materials and their respective installation. ARCHITECTURAL INNOVATIONS P.S. assumes no liability or responsibility for any items, which may be called out or referred to by manufacturer as brand name. Items called out are done so for convenience only.

7. Do not scale these drawings for critical dimensions. Verify all dimensions and datum's before commencing work and be responsible for their accuracy. Report discrepancies and/or omissions to the architect immediately

8. The Contractor/Owner is responsible for coordinating work with all trades to ensure proper and adequate interface of all trade works. The contractor shall be responsible for all required safety precautions and procedures required to do this work

9. Except as specifically defined otherwise, interpretation for all definitions, abbreviations and supplemental definitions shall follow accepted referenced standards.

10. All work within this contract shall represent that of industry standards for the respective trades in the location in which the project is built. All references to I.R.C., I.B.C., and W.S.E.C are references to the 2018 code updates & WA state Amendments.

<u>Ø1002 MISCELLANEOUS ASSEMBLY REQUIREMENTS</u> l. Provide crawl space access, minimum $18" \times 24"$ unobstructed access through the floor, $16" \times 10^{-5}$ 24" through perimeter walls and below grade access, per I.R.C. section R408.4. Insulate and weather-strip per W.S.E.C R4022.4. Allow 18' minimum space under wood joists and 12' minimum space under wood girders.

2. Provide attic access, minimum 22' x 30' with 30' minimum headroom, at unobstructed readily accessible opening, per I.R.C. section R807.1. Insulate and weather-strip per WSEC R4022.4. 3. Provide ventilation per I.R.C. as follows: A) Crawl space ventilation: Minimum net area shall be not less than 1 s.f. per 300 s.f. under

floor area. Required openings shall be evenly placed to provide cross ventilation of the

space except one side of the building shall be permitted to have no ventilation openings per section R4082 B) Attic ventilation: Minimum net area shall be not less than 1 s.f. per 150 s.f. of attic area or 1 s.f. per 300 s.f. of attic area if at least 40 percent, and not more than 50 percent, of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated, and is no more than 3 feet below the ridge or highest point of the space. The balance of required ventilation to be provided by eave or cornice vents per I.R.C. section R806.2 and W.S.E.C. requirements.

4. Slope all decks, walks, driveways, exterior door landings, and patios away from building. 5. Provide approved numbers or addresses in such a position as to be plainly visible and legible from the street or road fronting the property per I.R.C. section R319.1. 6. Garage/House separation:

A) Garage ceilings separating attic spaces shall be protected with 1/2" G.W.B. Whe garages are beneath habitable rooms, the ceilings shall be covered with 5/8" type 'x" GWB on the garage side. Where the separation is a floor/ceiling assembly, the structure shall be protected with 1/2" G.W.B. per I.R.C. table R3026. B) Door between garage and house shall be a self closing solid wood core, honeycomb core steel, or 20-minute fire rated door having a minimum thickness of 1-3/8' per I.R.C. section

C) Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage sheet steel or other approved material and shall have not openings into the garage per I.R.C. R302.52. D) Garage floor shall slope to facilitate the movement of liquids to a drain or toward the

main vehicle entry doorway. Stair assembly:
 A) Minimum headroom height 6'-8' per I.R.C. section R3II.12. B) Minimum stair tread depth 10" with a 36" minimum width, measured above handrail height. Maximum riser height 7-3/4" per I.R.C. sections R311.7.5 C) Top of handrail shall be 34' minimum and 38' maximum above tread nosing and not less

than 1-1/2" from the wall. Return rail ends to wall per I.R.C. section R311.7.8. D) Install fire blocking between stringers at the top and bottom of each run per I.R.C. section R302.11. E) Cover usable space under stairs with 1/2" GWB per I.R.C. section R302.7. 8. Laundry Chutes & Dumbwaiter Shafts - provide 5/8" type "x" GWB or 26 gage sheet metal with lock joints on all openings to shaft surfaces shall be self closing solid core door 1-3/8".

9. Fireblocking shall be provided in wood-frame construction in the following locations: A) In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of stude or staggered stude, as follows: l. Vertically at the ceiling and floor levels.

2. Horizontally at intervals not exceeding 10 feet. B) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings. C) In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.

D) At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with and approved material to resist the free passage of flame and products of combustion. E) For the fireblocking of chimneus and fireplaces, see Section RI003.19. F) Fireblocking of cornices of a two-family dwelling is required at the line of swelling unit

10. Fireblocking shall consist of the following materials per I.R.C. R302.11.1. A) 2" nominal lumber.

B) Two thickness of I' nominal lumber with broken lap joints. C) One thickness of $^{23}_{32}$ ' wood structural panels with joints backed by $^{23}_{32}$ ' wood structural D) One thickness of $\frac{3}{4}$ particleboard with joints backed by $\frac{3}{4}$ particleboard.

E) One ½" gypsum board. F) One 1/4" cement-based millboard. G) Batts or blankets of mineral wool or glass fiber or other approved materials installed in

such a manner as to be securely retained in place. II. Structural design criteria: These notes are provided for convenience only and do not imply that complete structural analysis has been done on this structure. A) Truss Loading: (U.N.O.) Top chord live load:

Top chord dead load: (15 psf, if tile) Bottom chord live load: 10psf without storage 20psf if limited storage 30psf if sleeping room TOTAL LOAD:

or 52psf or 62psf B) Roof live load: 25 psf (UN.O.)

C) Floor live load: 40 psf (UN.O.) Deck Live Load 60 psf UN.O. D) Stair and corridor live load: 40 psf

E) Mechanical units: weights provided by manufacturer F) Wind: 110 mph (U.N.O.) G) Seismic Design Category: D(2) (UN.O.) H) Allowable soil pressure: Unless a soils report by a qualified engineer is provided, all footings and foundations shall be on assumed 1500 psf bearing capacity unless otherwise noted on drawing.

J) Equivalent fluid pressure 35 pcf. (UN.O.) K) All footings to be located below the frost line depth: 18" (UN.O.) <u>Ø1002 MISCELLANEOUS ASSEMBLY REQUIREMENTS CONT.</u>

12. Prefabricated Fireplaces and Solid Fuel Burning Appliances per IM.C. and I.R.C. Chapter 101: A) Solid fuel burning appliances include airtight stoves, fireplace stoves, room neaters/fireplace stoves, factory built fireplaces, and fireplace inserts, and all shall comply with B) Metal Chimneys shall be enclosed above the story in which the appliance served is

located, in walls having one hour fire resistance rating, and with a space on all sides between chimney and enclosing walls sufficient for examination and repair for entire chimney. Walls shall be C) Provide fireblocking at chimney per I.R.C. section R302.11. D) Install metal fireplace with hearth and surrounds per manufacturers specifications E) Prefabricated fireplaces, chimneus, and related components to bear U.L. or ICBO

seal of approval and be installed per manufacturers requirements. 13. Fireblocking per I.R.C. sections R302.11.

2. Arrange inspections that are mandatory due to jurisdictional requirements.

<u>Ø1060 REGULATORY REQUIREMENTS</u> 1. All construction shall conform to the 2018 International Residential Code (I.R.C.), 2018 International Building Code (I.B.C.), 2018 International Fire Code (I.F.C.), 2018 International Mechanical Code (IM.C.), 2018 Uniform Plumbing Code (U.P.C.), 2018 Washington State Energy Code (W.S.E.C.) and be in accordance with all State Laws and

Regulations and various codes imposed by jurisdictional requirements and local authorities.

<u>Ø1500 CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS</u>

. Provide Temporary Facilities - including electricity, water, and temporary toilet, per . Provide Contemporary Controls - including erosion sediment and surface water control and entrapment during construction per jurisdictional requirements. END DIVISION

Division 2 SITE WORK

02200 EARTHWORK Part 3 - Execution

Rough grading: 4" below finish grading unless otherwise specified. . Finish grading: Landscaping division 02900. Excavation, backfilling, and compacting for structures as needed. . Excavation, backfilling, and compacting for pavement as needed. 5. Hauling and disposal of excavated material as needed.

6. Importing of material as needed. . Rock removal as needed.

Walk, road, and parking paving . Asphalt 2", class B, over 3" crushed rock or 2" ATB.

B. Crushed rock 5/8" minus. . Concrete per Division 3 Coordinate with materials finish selection schedule.

2. Unit Pavers: I. Coordinate with materials finish selection schedule. Pavement marking: 1. Coordinate with materials finish selection schedule.

02700 SEWAGE AND DRAINAGE

. Storm sewage systems:

02500 PAVING AND SURFACING

. Subdrainaae sustems: A. Foundation drainage 4' SDR 35 or sched. 40 rigid PVC perforated pipe embedded in pea gravel or clean crushed rock and wrapped in filter fabric.

A. Exterior catch basins, grates, and frames: Coordinate with materials finish selection schedule. B. Culverts: . Coordinate with materials finish selection schedule.

C. Drain pipe: 4" ADS non-perforated tight line. Sanitary sewage systems: A. Sewage collection lines 8' PVC unless cast iron is noted. B. Septic system: Per drawings of bidders designer.

Part 3 - Execution A. Slope to drain and surround in well draining material per details. 2. Surface drainage per I.R.C. section R401.3.

02800 SITE IMPROVEMENTS

Part 2 - Product Irrigation system: Bidder design
 Coordinate with materials finish selection schedule.

2. Fences and gates: 1. Coordinate with materials finish selection schedule. <u> 02900 LANDSCAPING</u>

Part 2 - Product Bidder Design

END DIVISION 2

Division 3 CONCRETE

03100 CONCRETE FORMWORK

Part 3 - Execution 1. Formwork and bracing for structural cast-in place concrete shall be by subcontractor and meet the requirements of the drawings and industry standards. 2. All formwork shall be placed in such a manner as to allow cast-in place concrete to be placed on solid substrate and to allow structural support members to sit below the frost line.

03200 CONCRETE REINFORCING Reinforcing steel: Deformed bar sizes and locations per plans and details. Grade 60, Fy'

= 60ksi per I.R.C. section R404.1.3.3.7.1. Unless otherwise noted per Engineer Welded wire fabric: at locations per plans and details: 6x6, WI.4xi.4WWF 1. A minimum lap for all bars shall be 40 diameters taken from the smallest bar. Provide corner

bars to match horizontal reinforcement. Minimum coverage per details and I.R.C. section R4Ø4,13,3,7,4,

<u>Ø325Ø CONCRETE ACCESSORIES</u>

1. Anchor bolts: 1/2'* triple zinc ZMAX (GI85 per ASTM A653) hot dipped galvanized steel (AGTM 153 for Anchors), with a minimum 7° embedment, per I.R.C. section R403.16., unless otherwise 2. Washers: 3'x3'x1/4' sq. triple zinc ZMAX (GI85 per ASTM A653) hot dipped galv. steel

(ASTM 153 for Anchors), plate washers per I.R.C. section R602.11.1. Unless otherwise noted per Part 3 - Execution . Anchor bolts at 6'-0' o.c. max. for one story \$ 4'-0' o.c. for buildings over two stories in

height, 12" from corners and joints, with a minimum embedment of 7". Provide a minimum of (2) bolts per plate section per I.R.C. section R403.16.

03300 CAST-IN-PLACE CONCRETE

Part 2 - Product 1. Structural concrete: Design f'c = 2500 psi min 5-1/2 sacks of cement per cubic yard of concrete and a maximum of 6.0 gallons of water per 94lb sack of cement at 28 days. Max slump is 4". segregation of materials to be prevented. Use f'c = 3000 psi concrete at 28 days with air entrainment only for concrete exposed to weather, in accordance with I.R.C. Table R4022. Special inspection not required unless noted otherwise per Engineer. 2. Architectural concrete: for exposed aggregate finish (washed), f'c = 2000 psi at 28 days, with 3/8" round aggregate.

<u>03300 CAST-IN-PLACE CONCRETE</u> (cont.)

A. All concrete shall have water reducing admixtures except for footings. B. Air entrainment shall be 5-7% in all concrete exposed to weather, I.R.C. Table R4022 1. Coordinate with materials finish selection schedule.

Part 3 - Execution END DIVISION 3

04100 MORTAR

. Type "M" or "S" mortar with integral waterproofing agent per I.R.C. section R6062.7

Part 3 - Execution Per I.R.C. section R6062

<u>04150 MASONRY ACCESSORIES</u> Part 2 - Product Anchors and Ties: To be corrosion-resistant metal ties per I.R.C. section R703.8.4 Joint reinforcement: Standard strand no. 9 U.S. gage wire per I.R.C. section R703.8.

1. Per I.R.C. Chapter 7 04200 UNIT MASONRY

A. Special units:

Part 2 - Product 1. Brick masonry:

B. Interior locations: name/mfg:

A. Exterior locations: name/mfq: 1. Coordinate with materials finish selection schedule (by others). B. Interior locations: name/mfd

l. Coordinate with materials finish selection schedule (by others) C. Pavers/planters: name/mfq: 1. Coordinate with materials finish selection schedule (by others). 2. Concrete masonry units: grade N-I CMU, unless otherwise indicated sizes per drawings.

1. Coordinate with materials finish selection schedule (by others). 3. Glass masonry units: (glass block) Per I.R.C. section R607. A. Exterior locations: name/mfg: Coordinate with materials finish selection schedule (by others).

1. Coordinate with materials finish selection schedule (by others). Part 3 Execution Brick and Venee

A. Brick veneer shall be supported on footings, foundation, or other non-combustible supports. It shall have 15* felt backing and No. 9 gauge, non corrosive ties at 1 per each 2 s.f. of veneer. Provide I' minimum air space between veneer and backing. Provide approved flashing at base of veneer with 3/16" min. round weepholes at 33" o.c. max., located immediately above the flashing, extending from the air space to the exterior. Veneer shall support no load other than its own weight and the vertical dead lead of veneer above. Provide andle iron support at doors, windows, and other openings per R606.10.

2. Concrete masonry unit (CMU) A. Concrete masonry unit walls shall be constructed to conform to ASTM C90. It shall be laid up, reinforced, and anchored as shown on drawings.

<u>04400 STONE</u> Part 2 - Product 1. As shown on drawings.

A. Exterior locations: name/mfg: 1. Coordinate with materials finish selection schedule (by others). B. Interior locations: name/mfg:

l. Coordinate with materials finish selection schedule (by others).

1. Stone Veneer: Adhered per manufacturer's installation instructions and in accordance with I.R.C.

A. On exterior stud walls, adhered masonry veneer shall be installed: . Minimum of 4 inches above the earth

2. Minimum of 2 inches above paved areas. or 3. Minimum of 1/2 inch above exterior walking surfaces which are supported by the same foundation that supports the exterior wall. B. Flashing at foundation:

1. A corrosion-risistant screed or flashing of a minimum 0.019-inch or 26-gage galvanized or plastic with a minimum vertical attachment flange of $3\frac{1}{2}$ inches shall be installed. END DIVISION 4

05050 METAL FASTENINGS

1. Bolts: Use sizes and shapes per dwgs, or as needed for intended purposes. Bolts, nuts and cut washers in contact with treated wood to be triple zinc ZMAX (GI85 per ASTM A653) hot

dipped galvanized steel (ASTM 153 for Anchors).

<u>05500 METAL FABRICATION</u> Part 2 - Product . Handrails and guardrails: Provide in sizes and locations as shown per dwg.

END DIVISION 5

Division 6 WOOD AND PLASTICS

06100 ROUGH CARPENTRY Part 2 - Product

1. Framing Lumber: Framing lumber shall be marked in conformance with the United States Dept. of Commerce, Standard Reference No. PS 20 (DOC PS 20) standards. All Kiln dried minimum 19%. A. Joist and rafters: (2x6 and larger) Hem-Fir *2 or better. 3. Beams and stringers: (4x and larger) Doug-Fir *2 or better.

Post and timbers: Doug-Fir #1. Stude, plates, and misc. light framing: Hem-Fir *2 or better.

I 'Joists and Engineered beams: Per manufacturer. Glue laminated timber: 1. Simple span: 24F V4 DF/N3WN

2. Continuous or cantilever: 24F V8 DF/DF G. All other lumber: Hem-Fir Standard or better. H. Plywood/oriented strand board (O.S.B.): APA graded. . Wall sheathing: see "TYPICAL BUILDING MATERIALS" list on the dwgs

J. Floor sheathing: see "TYPICAL BUILDING MATERIALS LIST"on the dwg. Other: As noted on drawings. .. All wood members in contact with exposed concrete to be pressure treated members.

Particle Board: A.P.A. graded A. Underlayment 1. Floors: 5/8" (U.N.O.) 2. Sheet vinyl: 1/4" (U.N.O.) see division 9

3. Cabinet surfaces 3/4" (UN.O.) A. Prefabricated connector plate wood roof trusses shall be designed and stamped by the manufacturer in accordance with the "design specification for metal plate connected wood trusses". Design drawings and details to be available upon request.

B. See 'Roof Framing Notes' on drawings. . Roof design, layout, loading, and bracing shall be by manufacturer.

D. Field alterations of truss must be designed by manufacturer. 4. Fasteners and adhesives: All nails shall be common wire of sizes for intended purpose per I.R.C. table R602.3(1). Attach timber joists to flush headers and beams with Simpson "U" hanger series or equal to suit intended purpose. Simpson connectors at other locations as outlined per drawings. Bolt heads, nuts, and cut washers per Division 5. Connectors and fasteners in contact with treated wood to be triple zinc ZMAX (GI85 per ASTM A653) hot dipped galv. steel (ASTM 153 for Fasteners), stainless steel, silicone bronze, or copper as required per dugs. 5. Post to mat footing connection. Provide pressure treated post and positive connection to ooting per I.R.C. section 502.9.

6. All exposed glue laminated wood, if not protected by a roof or eave, must be preservative-treated. Part 3 - Execution 1. The following will apply unless shown on drawings. All wood framing details shall be

constructed to the minimum standards in the I.R.C. All framing shall conform to the requirements of

Chapters 5,6, and 8 of the I.R.C. Minimum nailing shall conform to table R602.3(1) of the I.R.C. Height and spacing of studs shall conform to table R602.3(5) of the I.R.C. 06200 FINISH CARPENTRY Part 2 - Product

. Cabinets: A. Coordinate with materials finish selection schedule (by others). Millwork and casing: A. Coordinate with materials finish selection schedule (by others).

A. Coordinate with materials finish selection schedule (by others).

Stair and handrail by: A. Coordinate with materials finish selection schedule (by others). B. See division 01002.7 misc. assembly requirements.

Bookcases and built-in shelves: . Coordinate with materials finish selection schedule (by others). 6. Plastic laminate and solid surface material: A. Coordinate with materials finish selection schedule (by others).

END DIVISION 6

Division 7 HERMAL AND MOISTURE PROTECTION

01150 WATER PROOFING & DAMP PROOFING

. Per I.R.C. section R406. Part 3 - Execution

1. Per I.R.C. section R406. 01190 VAPOR AND AIR RETARDER

Part 2 - Product 1. Ground cover: 6 mil polyethylene: black, with 12" minimum lap.

2. Building wrap: see the "TYPICAL BUILDING MATERIALS" list on the drawings.

1. See Division 17, Energy Requirements. 07200 INSULATION

Part 2 - Product . Fiberalass or mineral wood batts, bloom mineral wool, and extruded polystyrene: A. Walls: 1. See the "TYPICAL BUILDING MATERIALS" list on the dwgs." B. Ceiling: I. See the "TYPICAL BUILDING MATERIALS" list on the dwgs. C. Floor: 1. See the 'TYPICAL BUILDING MATERIALS' list on the dwgs.

2. Insulating foam: A. Standard sealant foam.

See division 17: energy requirements 2. Provide insulation markers for blown-in or sprayed insulation every 300 sq ft. Markers shall face the attic access per IECC Sec 303.1.1.1 3. Crawl Space/Cantilevered floors: Insulation shall be installed to maintain permanent contact with the underside of the sub-floor decking. Insulation supports shall be installed so spacing is no more than 24" on center. Cantilevered floor vents shall be placed below the lower surface of the floor insulation.

<u>07300 ROOFING MATERIAL</u>

Part 2 - Product Shinales and roofina tiles A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings Membrane roofing: A. 3-ply hot mopped.

D. Slab on Grade: R-10 (per W.S.E.C. Table R402.1.1).

Part 3 - Execution . Install per manufacturer's recommendation and Chapter 9 of the I.R.C.

07460 SIDING MATERIAL

Siding: A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings. Trim: A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings." 3. Soffits: A. See the 'TYPICAL BUILDING MATERIALS' list on the drawings. 4. Other: A. See the "TYPICAL BUILDING MATERIALS" list on the drawings

Part 3 - Execution 1. Install per manufacturer's recommendation and Chapter 7 of the I.R.C.

07600 FLASHING AND SHEET METAL Part 2 - Product

1. Min. 26 Gauge galvanized, prefinished. Part 3 - Execution

1. Install per Chapter 7 and 9 of the IRC A) Flashing against a vertical sidewall shall be by the step-flashing method. The flashing shall be a minimum of 4" high and 4" wide. At the end of the vertical sidewall the step flashing shall be turned out in a manner that directs water away from the wall and onto the roof and/or

07700 ROOFING SPECIALTIES

autter, Per I.R.C. R903.2.1

Part 2 - Product A. Ridge vent: manufactured by:

. Coordinate with materials finish selection schedule (by others). B. Mushroom vent: manufactured by: 1. Coordinate with materials finish selection schedule (by others).

A. Continuous alum. precoated: 1. Style: K profile l. Color: Match fascia

A 2x3 rectangular aluminum precoated: 1. Color: Match fascia & trim B. Tie to 1 drain system.

<u>Ø7800 SKYLIGHTS</u> Part 2 - Product Skylights to conform with I.R.C. section R308.6. Manufacturer: A. Coordinate with materials finish selection schedule (by others).

<u>Ø7900 SEALANTS AND CAULKING</u> Part 2 - Product . Caulking A. Styrene butadene caulking (SBR) I. Color: Match siding

Division 8 DOORS AND WINDOWS

<u>08200 WOOD DOORS</u> (Lower Level, Main Level, Upper Level)

Other: A. Coordinate with materials finish selection schedule (by others).

Part 2 - Product . Panel wood doors: A. Coordinate with materials finish selection schedule (by others). 2. Flush wood doors: A. Coordinate with materials finish selection schedule (by others). 3. Stile and rail(store door): A. Coordinate w/materials finish selection schedule (by others). l. Patio door: A. Coordinate with materials finish selection schedule (by others).

08300 SPECIALTY DOORS Part 2 - Product 1. Sliding glass door: A. Coordinate with materials finish selection schedule (by others). 2. Garage door: (make/style): (see division 11450)

A. Coordinate with materials finish selection schedule (by others). 08600 WOOD/VINYL WINDOWS Part 2 - Product

. Note: Egress -A. Every sleeping room shall have at least one operable window with a net clear opening f 5.7 s.f. The net clear opening height shall be a minimum of 24", with a minimum net clear width of 20", and a finished sill height of not more than 44" above the floor, per I.R.C. section R310. B. Safety glaze per I.R.C. section R308.

C. See plans for egress and operation. A. Color: 1. Coordinate with materials finish selection schedule (by others). B. Style: 1. Coordinate with materials finish selection schedule (by others).

Type: A. Coordinate with materials finish selection schedule (by others). Weather Stripping: A. Coordinate with materials finish selection schedule (by others). Thresholds: A. Coordinate with materials finish selection schedule (by others).

Part 2 - Product Glass thickness to be determined by size and wind loading per I.R.C. section R308. 2. Safety glaze per I.R.C. section R308. 3. Mirrors to be silvered 1/4" float plate glass.

END DIVISION 8

<u>08800 GLAZING</u>

Division 9 FINISHES

09250 GYPSUM WALLBOARD

1. Walls: See the "TYPICAL BUILDING MATERIALS" list on the drawings. A. Finish: 1. Coordinate with Contractor/Owner material selections. 2. Ceiling: See the 'TYPICAL BUILDING MATERIALS' list on the drawings

A. Finish: 1. Coordinate with materials finish selection schedule. 3. Wall and ceiling finishes shall have a flame spread index of not greater than 200, and a smoke-developed index of not greater than 450 per I.R.C. R302.9. 4. Code required areas: A. Type "X: GWB as required.

1. See division 01002 misc. assembly requirements. B. Waterproof GWB as regid at wet or damp locations per I.R.C. section RT02.4.2. 5. Wonderboard or duroc at all tile locations (UN.O.) 6. Metal corner bead profile: l. Coordinate with materials finish selection schedule.

Part 3 - Execution 1. Apply as required in I.R.C. Chapter 1 and Table R102.1(3). Nail or screw in place per table.

1. Ceramic, quarry, and marble tiles:

A. Coordinate with materials finish selection schedule (by others). Part 3 - Execution

1. Refer to manufacturer's recommendations

<u>09650 RESILIENT FLOORING</u>
Part 2 - Products 1. Type: A. Coordinate with materials finish selection schedule (by others).

A. Coordinate with materials finish selection schedule (by others).

<u>09680 CARPETING</u>
Part 2 - Products 1. Carpet and Pad: A. Coordinate with materials finish selection schedule (by others).

1. Painting over prepared surface per manufacturer's recommendations A. Coordinate with materials finish selection schedule (by others). <u>09950 WALL COVERINGS</u> Part 2 - Products

1. Type: A. Coordinate with materials finish selection schedule (by others).

Division 10 SPECIALTIES

END DIVISION 9

Part 2 - Products

Part 3 - Execution

10200 LOUVERS AND VENTS Hardware cloth screen 1/4" x 1/4" on soffit vents as detailed. Continuous 2' performed metal soffit vent as detailed. . Roof vent (See Division Ø7700)

f. Other vents as noted per plans 10300 PREFABRICATED FIREPLACES

 Location/Model/Accessories: A. Coordinate with materials finish selection schedule (by others) Part 3 - Execution 1. See division 01002.12 for misc. assembly requirements for fireplaces.

10400 IDENTIFYING DEVICES Part 2 - Products 1. Building numbers: A. Coordinate with materials finish selection schedule (by others).

1. Install in location per jurisdictional requirements. 10800 TOILET AND BATH ACCESSORIES Part 2 - Products

A. Coordinate with materials finish selection schedule (by others). 10900 WARDROBE AND CLOSET SPECIALTIES

1. Storage Closet: A. Coordinate with materials finish selection schedule (by others). 2. Clothes Closets A. Coordinate with materials finish selection schedule (by others).

END DIVISION 10 Division II EQUIPMENT

Pantry.

IIOIO MAINTENANCE EQUIPMENT Part 2 - Products

 Vacuum cleaning system:
 A. Coordinate with materials finish selection schedule (by others). 11450 RESIDENTIAL EQUIPMENT

> A. Coordinate with materials finish selection schedule (by others). . Ironing board cabinet (or drawer). A. Coordinate with materials finish selection schedule (by others). Free-standing appliances A. Coordinate with materials finish selection schedule (by others).

END DIVISION II

Garage door opener(s).

12500 WINDOW TREATMENT Window treatment: A. Coordinate with materials finish selection schedule (by others).

END DIVISION 12 Division 13 SPECIAL CONSTRUCTION

13150 POOLS Part 2 - Products I. Bidder design 13156 HOT TUB

Part 2 - Products A. Coordinate with materials finish selection schedule (by others).

END DIVISION 13 Division 14 CONVEYING SYSTEMS

14100 DUMBWAITER Part 2 - Products 1. Dumbwaiter: A. Manufacturer/model number: 1. Coordinate with materials finish selection schedule (by others). END DIVISION 14

Division 15 MECHANICAL

15000 GENERAL

. Mechanical system to be bidder design.

A. Refer to Division I General Requirements B. See plans for total maximum Btu. C. Heating and cooling equipment shall be sized based on building loads calculated in accordance with ACCA manual J or other approved heating and cooling calculation

methodologies. Per M1401.3 3. Contractor work out plumbing and HVAC diagram layout. A. Coordinate with other trades.

15400 PLUMBING

I. Pipes and Fittings: A. Waste 4 soil: ABS plastic of sizes req'd for the intended purpose. 1. Provide cast iron with compression neoprene joints per locations shown on the

1. Provide an approved earthquake shutoff valve installed in the building supply line

immediately after the gas meter. The valve shall be located outside of the structure

drawings. 2. Provide clean-outs at bends B. Vents: ABS C. Gas: Per code, verify location of appliances.

and be accessible. D. Water Line:

B. Hose bib, frost proof type: Mansfield units

1. Below Grade: 1 1/4" type K with/hard solder 2. Above Grade: Type L w/soft solder Plumbina equipment: A. Hot water heater: (Duals in tandem) 1. Size per U.P.C. 501 and Table 501.1 and jurisdictional amendments.

2. Coordinate with owner's material selection (by others).

C. Main shut-off valve in garage. D. Plumbing fixtures 1. Coordinate with owners material selection (by others). A. Provide 'T' connection in main line in garage by main shut-off valve with separate

15400 PLUMBING (cont.) . Automatic Sprinkler System: (bidder design)

B. Duct work and insulation:

E. Registers with adjustable supply:

shut-off and drain valve.

1. The installer to design the system to appropriate jurisdictional requirements and function in

a manner consistent with industry standards. Refer to general requirements.

15500 HVAC Part 2 - Product

1. Forced Air: A. Furnace system: 1. Coordinate with materials finish selection schedule (by others).

1. Coordinate with materials finish selection schedule (by others). C. Air cleaner: 1. Coordinate with materials finish selection schedule (by others). D. Controls:

Coordinate with materials finish selection schedule (by others). F. Provide firestopping at 'B' vent location per I.R.C. sections R302.11 2. Fans: see division 17 energy requirements. . See floor plans for Whole House Ventilation requirement

. Coordinate with materials finish selection schedule (by others). A. Terminate outside building and equip with backdraft dampers per I.R.C. section

. Coordinate with materials finish selection schedule (by others).

4. Cloths Dryers shall be exhausted in accordance with manufactures instructions \$ I.R.C. B. Protective shield plates shall be placed per I.R.C. MI502.5. Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in

a manner consistent with industry standards. Refer to general requirements. END DIVISION 15

16000 GENERAL Part I - General l. Electrical systems to be bidder designed. Regulatory requirements: refer to Division 1 - General Requirements. 3. Contractor to provide electrical diagramming layouts, design circuitry: follow lighting plan

16200 POWER Part 2 - Product 1. Wire and Boxes. A. Volt: 12 6A (3) Wire 1. GFI @ Damp Locations

A. Coordinate with other trades,

B. Low voltage: standard type 2. Panels: Circuit breaker box fully labeled A. Capacity: Bidder Design B. Circuitry: Bidder Design 3. Grounding: A. Provide (1) 2 1/2" schedule 80 PVC conduit at concrete stem wall for electrical service

and (1) 5/8 diameter \times 8 0 long galvanized rod (\$ Ufer ground) for electrical grounding. 4. Smoke Detectors: A. Provide and install per I.R.C. section R314. 5. Fire alarm:

A. Coordinate with materials finish selection schedule (by others).

A. Coordinate with materials finish selection schedule (by others).

A. Provide and install per N.E.C. and as required by governing fire marshal. Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in a manner consistent with the industry standards. Refer to general requirements and I.R.C.

A. Coordinate with materials finish selection schedule (by others). Intercommunication systems:
 A. Coordinate with materials finish selection schedule (by others). 4. Stereo sustem:

2. Phone system:

END DIVISION 16

16200 COMMUNICATIONS

l. Intrusion alarm and security detection systems:

LIGHTING Part 2 - Product 1. Fixtures: 1. Coordinate with materials finish selection schedule (by others). Note: A minimum of 90% of all luminaries shall be high efficiency per W.S.E.C. R404.1. 2. Control: A. Switches: I. Coordinate with materials finish selection schedule.

3. Dimmers: 1. Coordinate with materials finish selection schedule (by others).

a manner consistent with the industry standards. Refer to general requirements.

4. Boxes: I. Coordinate with materials finish selection schedule (by others).

5. Other: 1. Coordinate with materials finish selection schedule (by others). Part 3 - Execution 1. The installer to design the system to appropriate jurisdictional requirements and function in

Division IT ENERGY REQUIREMENTS

WASHINGTON STATE ENERGY CODE: 1. Per WSEC R402.4. The building Envelope shall be constructed to limit the air leakage rate not to exceed 5 air changes per hour. The results of the test shall be signed by the party

conducting the test and provided to the code official (R402.4.1.2). 2.Per WSEC R403.1.1. at least one thermostat per dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule.

3.Per WSEC R403.32. ducts, air handlers, and filter boxes shall be sealed.

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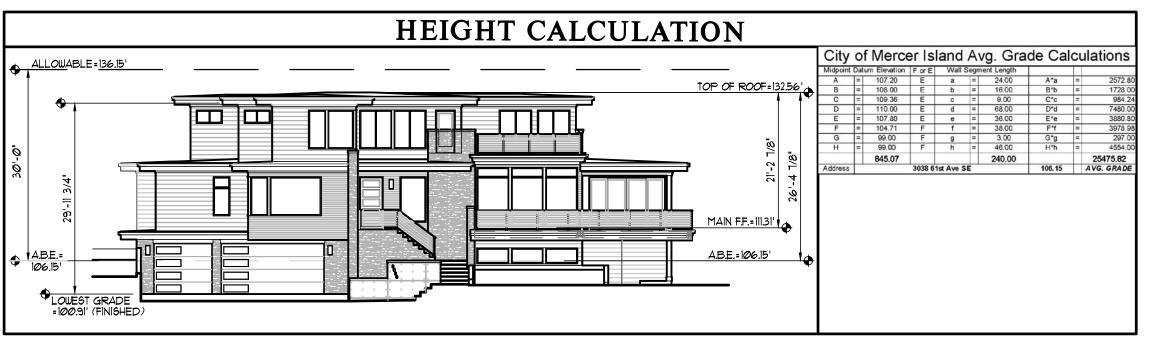
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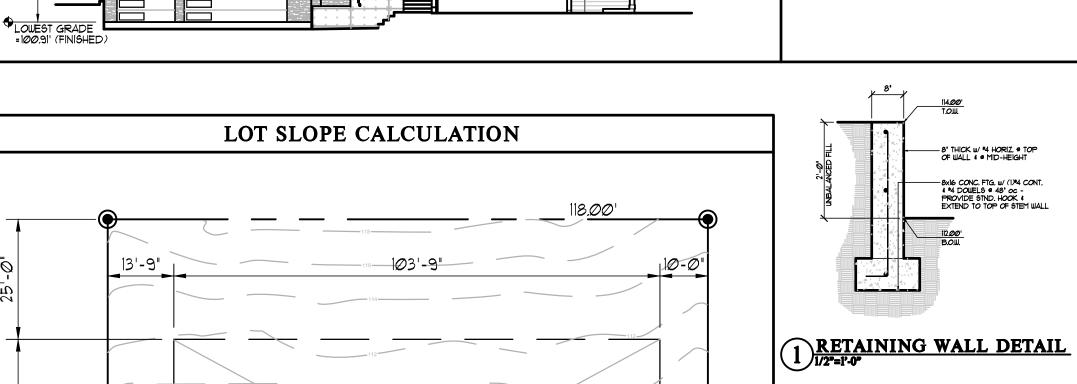
TITLE

STARTING NO.: 21076.0

21076.2

SHEET





	TREE IDEN	TIFICATI	ON
TAG	TREE/SPECIES	SIZE (DBH)	RETAINED
1.	CEDRUS DOEDORA, DEODAR CEDAR	35.4	NO
2.	PSEUDOTSUGA MENZIESII, DOUGLAS FIR	29 °	YES
3.	PSEUDOTSUGA MENZIESII, DOUGLAS FIR	35*	YES
4.	APPLE SPECIES	9.2*	NO
5.	APPLE SPECIES	12.9*	NO
6.	PRUNUS, CHERRY	6.4*	NO
7.	PRUNUS, PLUM	10.5"	NO
O.S.T.	CEDRUS ATLANTICA, ATLAS CEDAR	est. 30"	YES

TOTAL DBH =

TOTAL RETAINED =

100.4"/46%

138.4"

SITE TREE

NOTE: DBH DOES NOT INCLUDE OFF

 Tree protection fencing (TPF) shall consist of chain link fencing, or other fencing as may be required or approved by the City of Mercer Island, installed at the dripline radius of Tree #2 and Tree #3 and shall be staked into place, as required by the City. Plan Sheet A1.1 details the location of the Tree Signage shall be installed at intervals of 20' or less along the fence line declaring the fenced area

as a "TREE PROTECTION ZONE - NO TOOLS, EQUIPMENT, OR CONSTRUCTION RELATED MATERIALS MAY BE PLACED WITHIN THE TREE PROTECTION ZONE". Signage shall be a minimum of 8.5" by 11.0" and shall

 An ISA certified arborist shall verify the location of the fencing. The fencing shall be installed prior to any site clearing or grading and shall remain in place until the construction phase is completed. An ISA certified arborist shall be on-site for any excavation in the backyard area or anywhere

 Any roots that are encountered and in need of removal shall be assessed by the Project Arborist. Severing of encountered roots shall be undertaken as detailed in ANSI Standard A300 (Part 8)-2013, Root

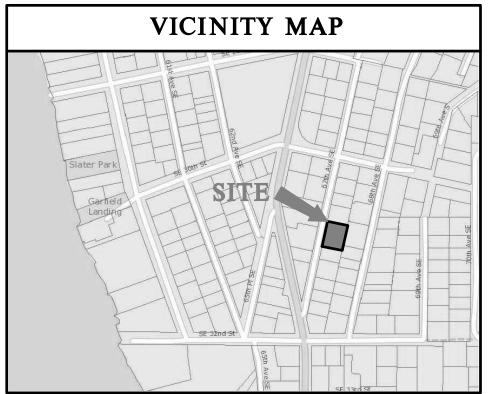
Any roots that are encountered and severed shall be covered with moist compost or mulch

material as soon as is reasonable following the root exposure and severance. Protected trees shall be re-assessed after completion of the construction activity.

The lvy in Tree #2 and #3 should be removed, as much as possible.

TAG	TREE/SPECIES	NATIVE
R.1	JAPANESE MAPLE	
R.2	THUJA PLICATA	YES
R.3	VINE MAPLE	YES
R.4	THUJA PLICATA	YES
R.5	THUJA PLICATA	YES
R.6	THUJA PLICATA	YES
R.7	THUJA PLICATA	YES
R.8	DOGWOOD	
R.9	RED MAPLE	

	City of Mercer Island GFA Calculations								
Lov	ver Lev	el Area Cal	culatio	n	Lot Size =	12,500	x 40% =	5,000 S.F.	
Wall	Length	Percentage	Finish or Existing	Result					
Α	24	77.0%	E/F	18.5	Main Floor	2548	(2504+44)	AREA >16'	
В	16	96.0%	F	15.4	Upper Floor	1333	(1407-74)	STAIRS	
С	9	100.0%	E/F	9.0	Lower Floor	1087	(2443-1356)	EXCLUDED	
D	54	100.0%	E	54.0					
Е	36	26.0%	F	9.4	Total G.F.A.	4968	/39.7%		
F	24	59.0%	E/F	14.2					
G	3	0.0%	E/F	0.0					
Н	46	0.0%	F	0.0					
	212			120.5					
	Total Av	erage Result		0.6					
Flr	Sq Ft	Result		Excluded Area					
	2443	0.5683962		1388.591981					



SITE INFO

STREET ADDRESSES: 3036 67th AVE SE PARCEL #:

PLAT LOT: 15 THRU 19

LEGAL DESCRIPTION: EAST SEATTLE ADD LOTS 15 THRU 18 TGW SLY 5 FT OF LOT 19 PLAT BLOCK: 6

ZONING

ZONING: R-8.4

SINGLE FAMILY RESIDENTIAL SETBACKS. FRONT YARD - 20'-0"

REAR YARD - 25' TOTAL SIDE YARD(S) - 17% OF 120'-0" = 20.4' COMBINED INTERIOR SIDE YARD - 33% OF 20.4'= 6.73' MIN.

30° ABOVE AVERAGE BUILDING ELEVATION
35° DOWNHILL HIGHEST PLATE FROM EXISTING GRADE

LOT COVERAGE 35% MAX OF GROSS LOT AREA

G.F.A. 40% MAX. OF NET LOT AREA

SITE CALCULATIONS

LOT AREA 12,500 SF GROSS LOT AREA

G.F.A. CALCULATION
12,500 SF GROSS LOT AREA

5,000 SF ALLOWABLE G.F.A.

2,548 SF MAIN FLOOR (see G.F.A. calculations below) 1,333 SF UPPER FLOOR (see G.F.A. calculations below) 1,087 SF LOWER FLOOR/GARAGE (see G.F.A. calculations below).

LOT COVERAGE CALCULATION 12,500 SF GROSS LOT AREA

4,968 SF/39.7% TOTAL G.F.A.

4,375 SF ALLOWABLE LOT COVERAGE

3,023 SF STRUCTURE (including eaves)
344 SF COVERED PATIO/DECKS (including eaves) 666 SF DRIVEWAY (excluding portion under eaves)
4,033 SF/32% TOTAL LOT COVERAGE

HARDSCAPE SURFACE CALCULATION

12,500 SF GROSS LOT AREA 1,125 SF ALLOWABLE HARDSCAPE COVERAGE

419 SF FRONT WALKWAY AND STEPS(excluding portion under deck)
139 SF REAR PATIO (excluding portion u/ eaves)
175 SF MAIN FLOOR DECK(excluding portion under eaves)

35 SF REAR RETAINING WALL 41 SF FRONT RETAINING WALLS
809 SF/6.5% TOTAL HARDSCAPE SURFACE AREA

LEGEND

SEE ADDITIONAL STORM

ARCHITECTURAL INNOVATIONS
Forward Thinking Design Solutions For Your Envir

3036

an

TITLE

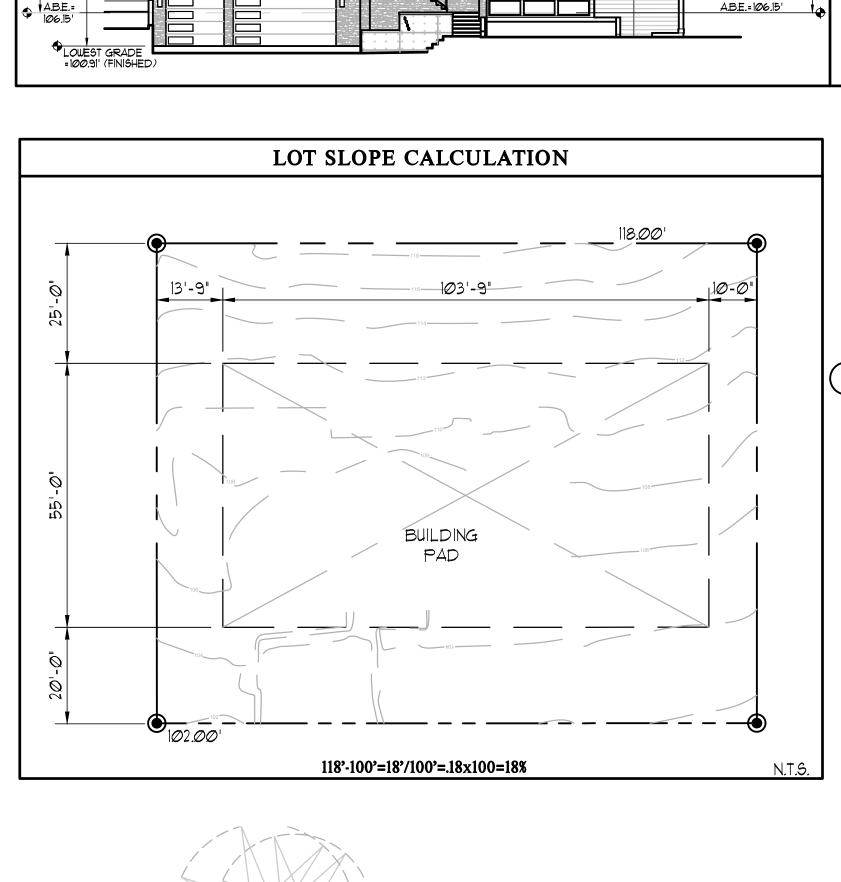
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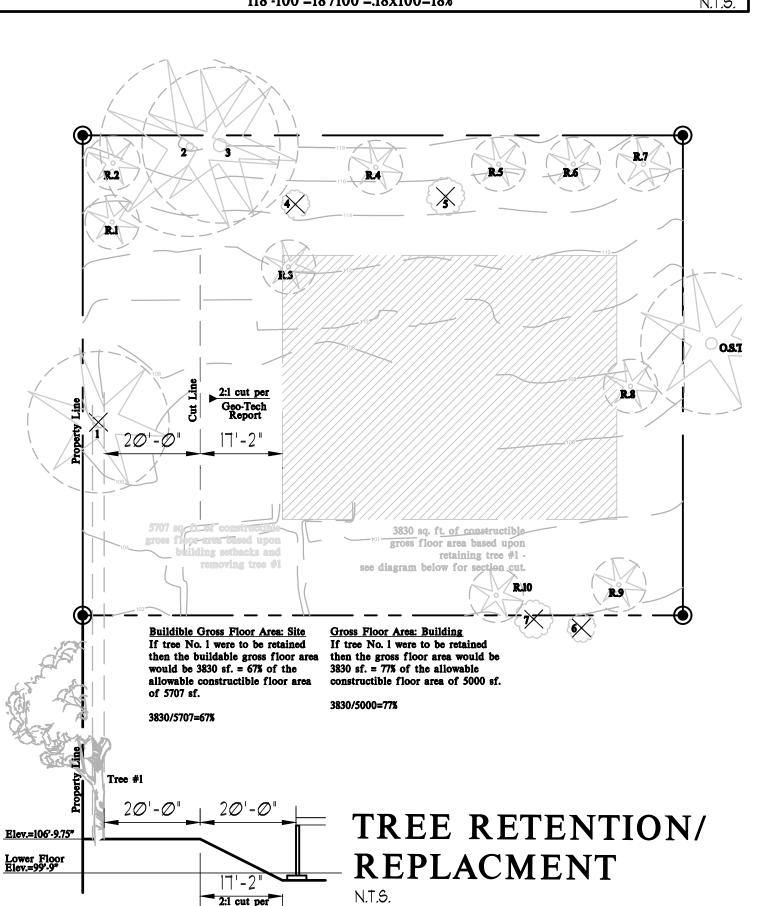
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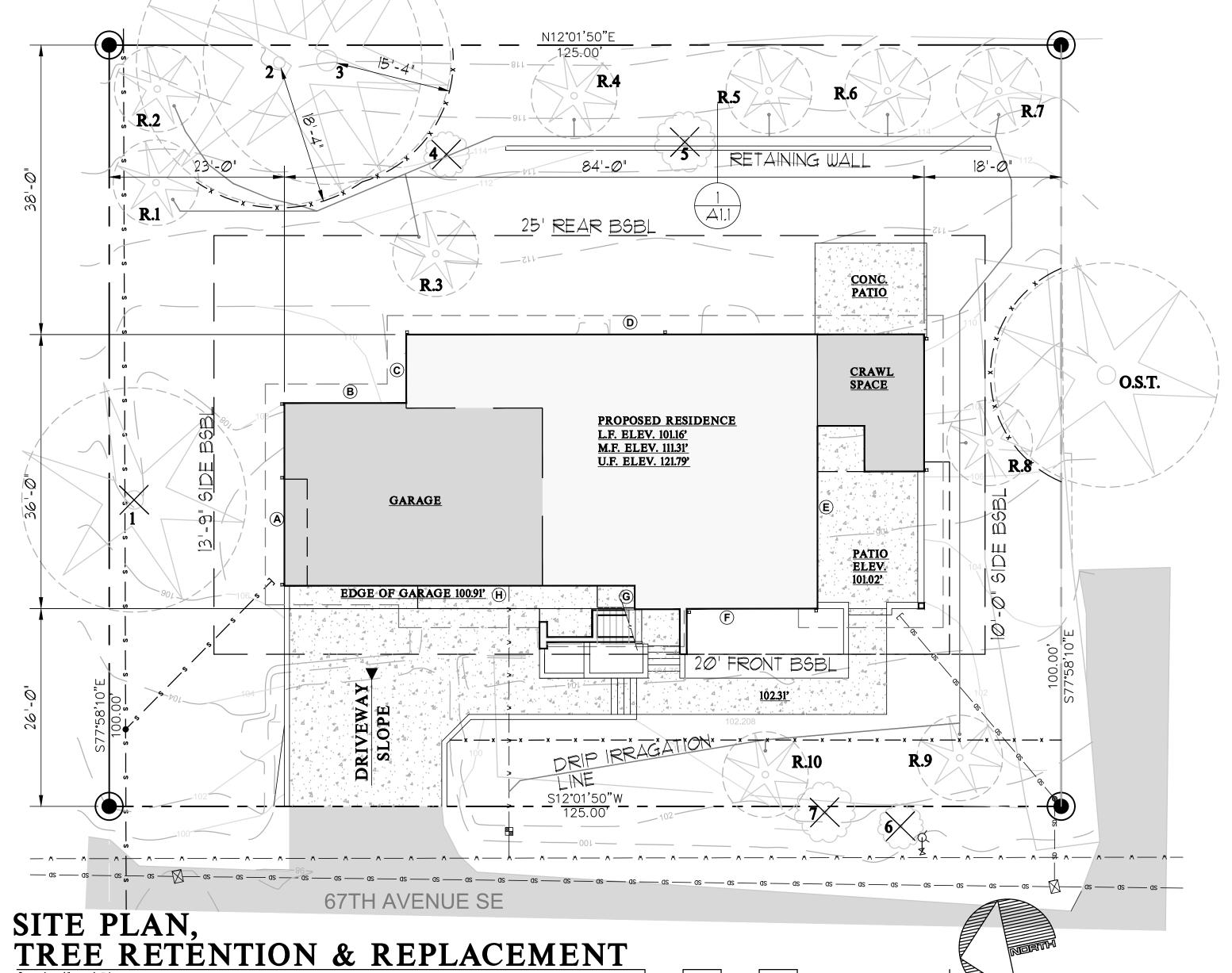
---- v ---- DESIGNATES WATER -----s ----- DESIGNATES SEWER SD - SD - DESIGNATES STORM DESIGNATES EXISTING GRADE - DESIGNATES FINISHED GRADE DESIGNATES TREE DRIPLINE DESIGNATES EXISTING WOOD FENCE EXISTING FENCE TO BE REMOVED

DEMO EXISTING STRUCTURES AND HARDSCAPE

& UTILITY PLAN







LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

FOUND REBAR &

CAP (TERRANE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARING

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS

VERTICAL DATUM & CONTROL INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47746;

ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

SURVEY NOTES

- 1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE
- 2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- 3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- 4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- 5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

SITE DATA

HIGHEST ELEVATION OF LOT: LOWEST ELEVATION OF LOT: LOT SLOPE: 19.3% TOTAL SITE AREA: 12,500 SF ALLOWED LOT COVERAGE: PROPOSED LOT COVERAGE * 3,899 SF (31.2%) PROPOSED HARDSCAPE 581 SF (4.6%)

4,480 SF (35.8%) PROJECT IMPERVIOUS AREA: * LOT COVERAGE INCLUDES THE COMBINATION OF BUILDINGS. INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

OWNER / ARCHITECT

WILLIAM E. BUCHAN INC. 2630 116 AVE NE #100 BELLEVUE, WA 98004 (425) 831–5503 CONTACT: DAVID STAVE

ENGINEER

THE BLUELINE GROUP 25 CENTRAL WAY, SUITE 400 KIRKLAND, WA 98033 (425) 250-7262 CONTACT: YANNICK METS, PE

GEOTECH ENGINEER

TERRA ASSOCIATES, INC 12220 113TH AVE NE, SUITE 130 KIRKLAND, WA 98034 (425) 821-7777 CONTACT: CAROLYN S. DECKER, PE

SHEET INDEX

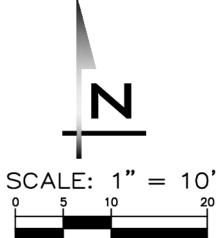
CV-01 COVER SHEET 2 TP-01 TESC PLAN 3 TP-02 TESC DETAILS 4 TR-01 TREE RETENTION PLAN

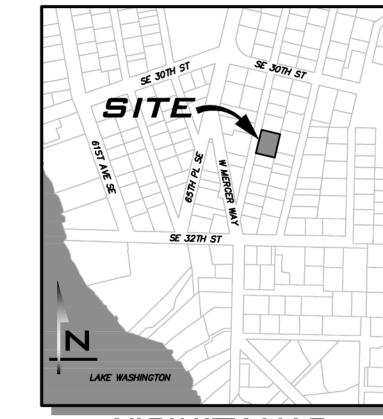
5 SP-01 SITE PLAN 6 SS-01 SIDE SEWER PROFILE

7 TG-01 TEMPORARY GRADING PLAN 8 DT-01 DETAILS

9 DT-02 DETAILS

3036 67TH AVE SE MERCER ISLAND SITE PLAN





VICINITY MAP NOT TO SCALE

LEGEND

PROPOSED FEATURES -BOUNDARY - RIGHT-OF-WAY ASPHALT PAVEMENT - LOT LINE - SIDEWALK CONCRETE - CENTER LINE -- SAWCUT

∠BUILDING FOOTPRINT — — — — — BUILDING OVERHANG BUILDING ROOFLINE ----- — -- Building setback (BSBL) —— 10' PROPOSED CONTOURS — 2' PROPOSED CONTOURS

PROPOSED STORM DRAINAGE - STORM DRAIN PIPE ---- ROOF & FOOTING DRAIN

■ TYPE I CB — STANDARD GRATE ■ TYPE I CB — LOCKING LID **→** ··· **→** ··· SWALE OR DITCH STORM CLEANOUT SURFACE FLOW YARD DRAIN EXISTING FEATURES

ADJACENT PLAT/PARCEL LINE P POWER VAULT - ADJACENT RIGHT-OF-WAY **∕**✓ POWER METER - CENTERLINE - EASEMENT \neg MAIL BOX — — — — — SURFACE FEATURES L/L/L/L/L/L/L BUILDING FOOTPRINT — — —190— — — **10' CONTOURS** EXISTING CONIFEROUS TREE ----192---- 2' CONTOURS — — — SD— **Storm drain Pipe** EXISTING DECIDUOUS TREE — — — W — WATER MAIN > DRIP LINE ————OHP— **AERIAL POWER LINE** CONIFEROUS TREE TO BE SAVED — — — □ — BOARD FENCE RETAINING WALL DECIDUOUS TREE TO BE SAVED

☐ CATCH BASIN, TYPE I CATCH BASIN, TYPE II ⟨ SD PIPE FLOW SEWER MANHOLE SS PIPE FLOW A FIRE HYDRANT **₩ WATER METER** ⋈ GATE VALVE -O- POWER POLE ← GUY ANCHOR

EXISTING CONIFEROUS TREE TO BE REMOVED EXISTING DECIDUO
TO BE REMOVED EXISTING DECIDUOUS TREE : ASPHALT CONCRETE

GRAVEL TESC FEATURES FILTER FENCE ----- CONSTRUCTION FENCE ✓ PIPE FLOW INTERIM CATCH BASIN LIMITS OF CLEARING

PROTECTION (INSERT)

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED PROJECT MANAGER: YANNICK METS, PE PROJECT ENGINEER: ALI RAMEZANI, PE DESIGNER:

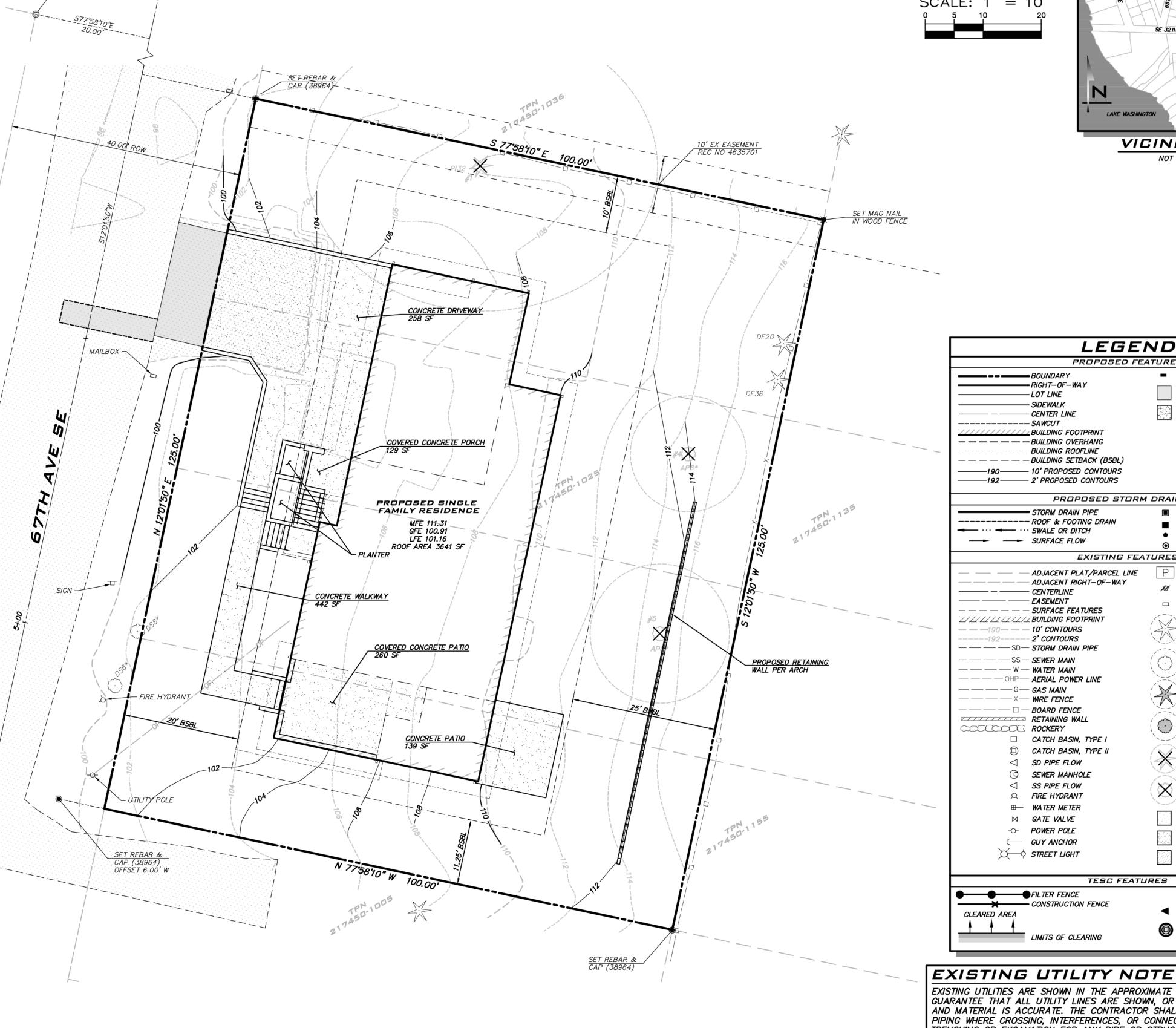
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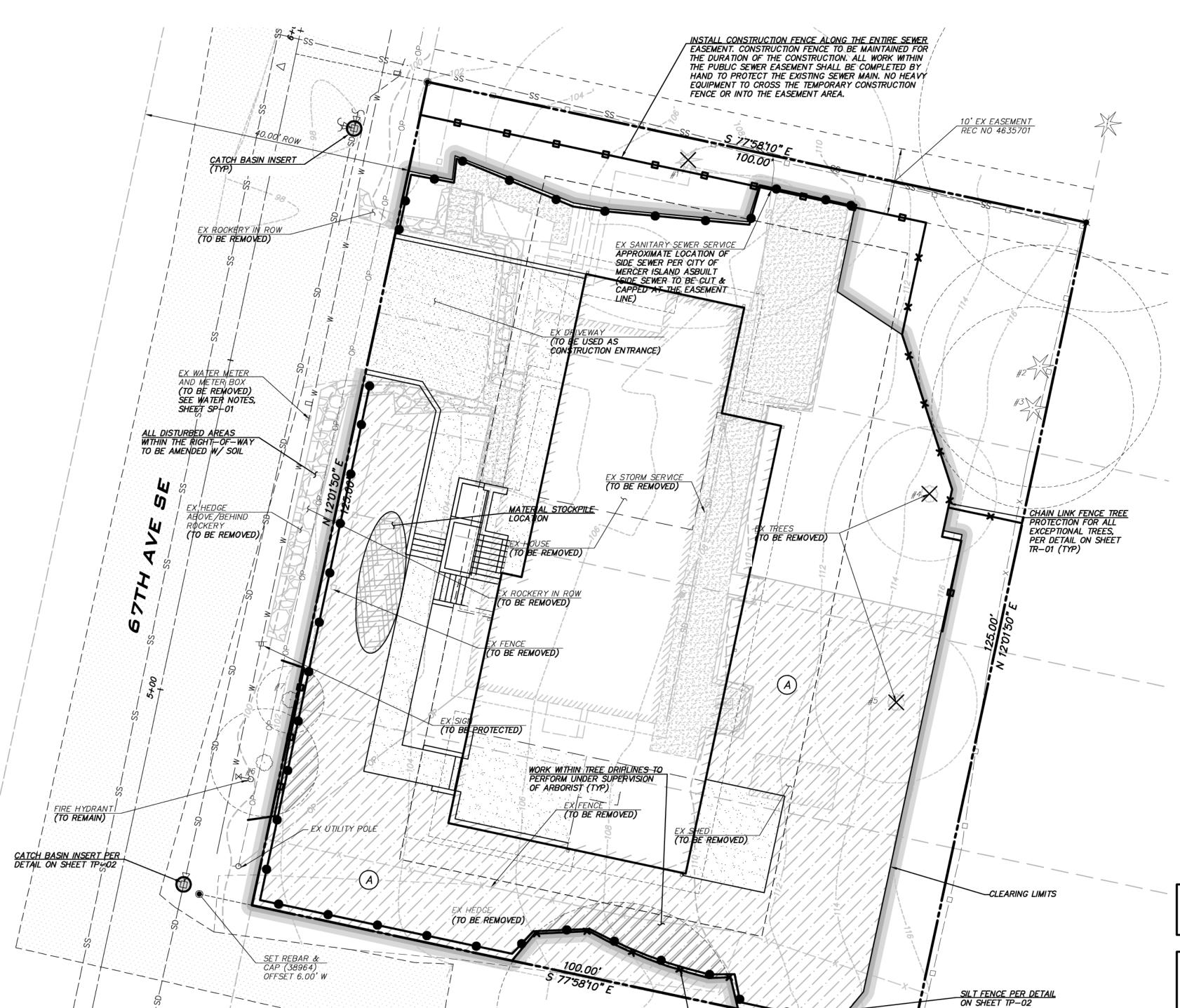
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22-042 SHEET NAME: CV-01

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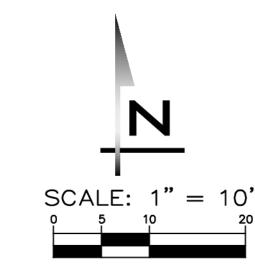


SEE ARCHITECTURAL SITE PLAN FOR TREE RETENTION, BUILDING HEIGHTS AND FAR CALCULATIONS.



CHAIN LINK FENCE TREE PROTECTION FOR ALL

EXCEPTIONAL TREES, PER DETAIL ON SHEET TR-01 (TYP)





CATCH BASIN INLET PROTECTION TO BE INSTALLED UP TO 250' DOWNSTREAM OF THE PROJECT SITE.

SOIL AMENDMENT LEGEND

A

A NEW TURF AREA REQUIRING AMENDMENT (3,602 SF)

POST-CONSTRUCTION SOIL MANAGEMENT NOTES

AMEND SOILS WITH COMPOST PER PRE-APPROVED AMENDMENT METHOD

SCARIFY EXISTING SOILS TO DEPTH OF 8 INCHES

REFER TO CITY OF MERCER ISLAND SECTION D: POST—CONSTRUCTION SOIL MANAGEMENT FORM UNDER SEPARATE COVER FOR CALCULATED AMENDMENT QUANTITIES.

NOTE

EXISTING WATER METER TO BE ABANDONED.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER:

PROJECT ENGINEER: ALI RAMEZANI, PE

DESIGNER: CHRISTOPHER WISCOMB

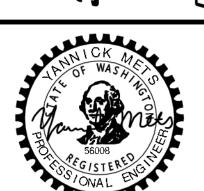
10/11/2023

D DATE BY REVISIONS

ENUE SE

SITE PLAN ARCEL 21745010.

SITE PARCEL S



10/11/23 Job Number:

22-042 SHEET NAME: TP-01

sнт **2** оғ **9**

A. CONDUCT PRE-CONSTRUCTION MEETING. B. FLAG OR FENCE CLEARING LIMITS.

C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.

D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.

E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S). F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).

G. CONSTRUCT SEDIMENT PONDS AND TRAPS.

H. GRADE AND STABILIZE CONSTRUCTION ROADS. I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.)

SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT. J. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE

WITH THE CITY TESC MINIMUM REQUIREMENTS. L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH,

COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT. M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.

N. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

3. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.

4. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL

VEGETATION FOR SILT CONTROL. 6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE TESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.

7. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NÉCESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.

8. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM

OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT. 9. ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:

NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. 10. At no time shall more than 1' of sediment be allowed to accumulate within a CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

APRIL 1 TO OCTOBER 31 — SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.

11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.

WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).

14. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY ERÓSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".

15. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.

16. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.

17. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.

18. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

19. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST

OWNER/OCCUPANT. 20. CLEARÍNG LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY. A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED

TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS. 21. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED

ON THE PUBLIC STREETS. 22. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.

23. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE—QUARTER DEPTH.

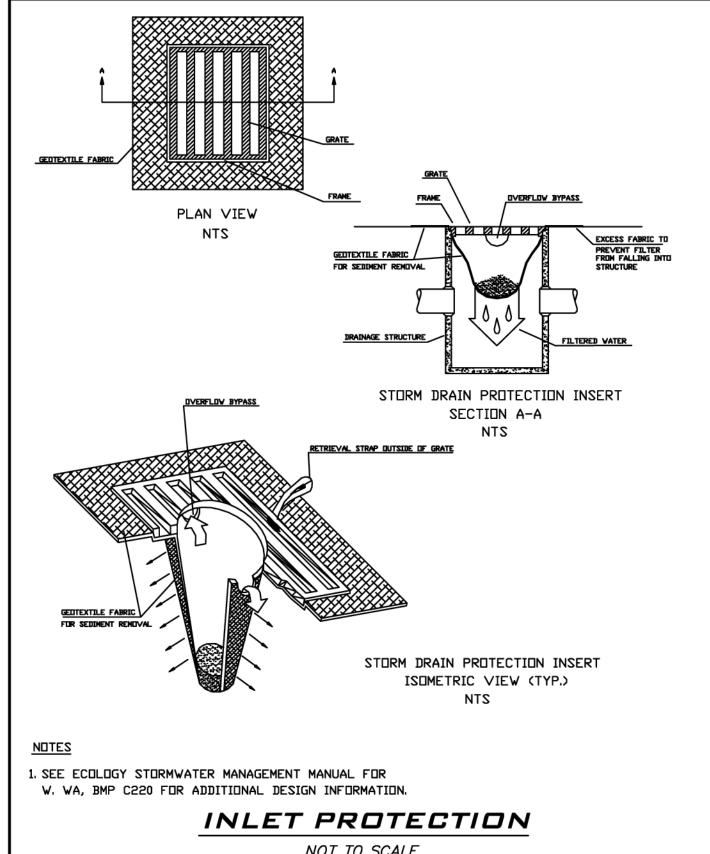
24. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40 %-70 % PASSING; 2"-4" ROCK/30 %-40 % PASSING; AND 1"-2" ROCK/10 %-20 % PASSING.

25. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.

26. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.

27. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.

28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

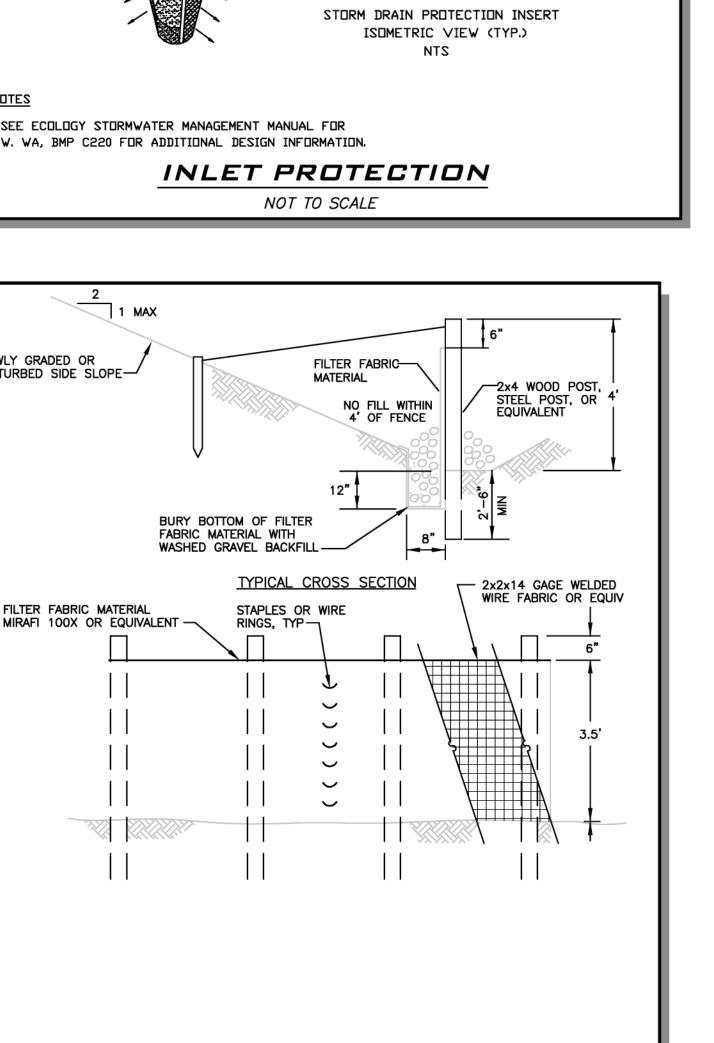


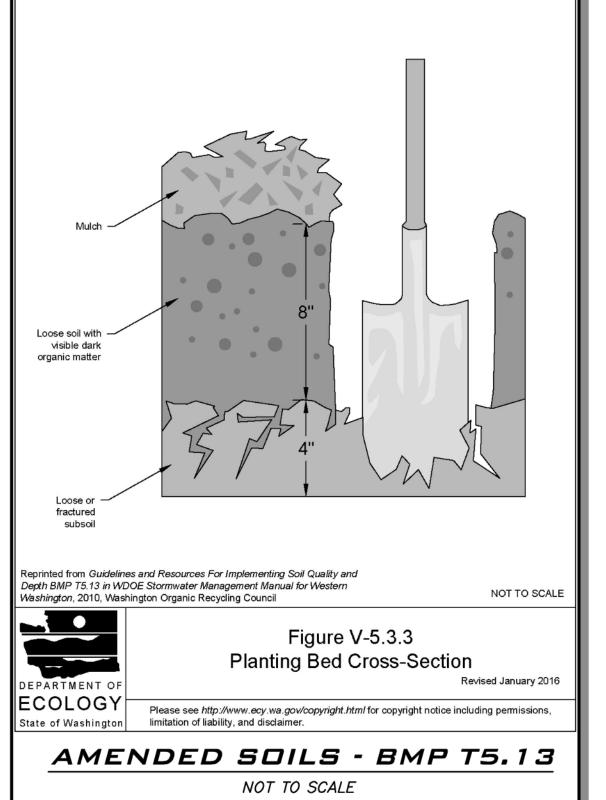
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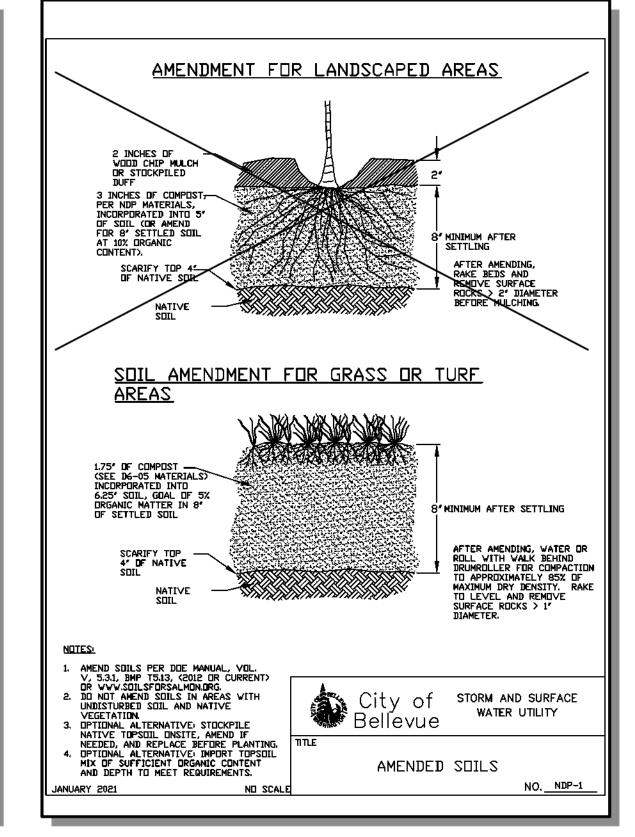
NEWLY GRADED OR

DISTURBED SIDE SLOPE—

FILTER FABRIC MATERIAL









25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER: YANNICK METS, PE PROJECT ENGINEER:

ALI RAMEZANI, PE DESIGNER: CHRISTOPHER WISCOMB

ISSUE DATE:

10/11/2023

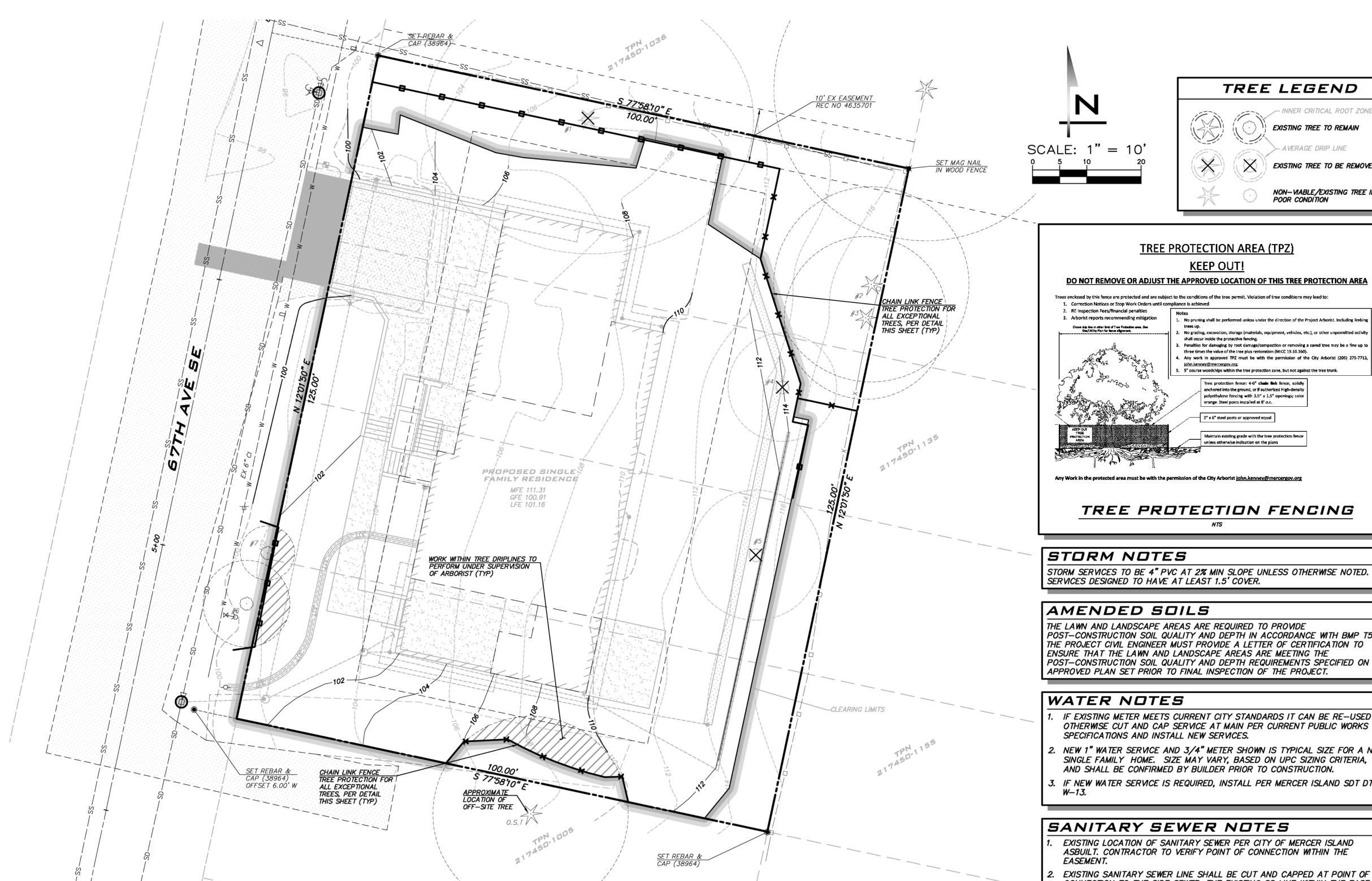
JOB NUMBER: 22-042

SHEET NAME: TP-02

SHT

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.





KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

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PROJECT MANAGER: YANNICK METS, PE PROJECT ENGINEER: ALI RAMEZANI, PE

DESIGNER: CHRISTOPHER WISCOMB ISSUE DATE:

TREE PROTECTION AREA (TPZ)

KEEP OUT! DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

TREE LEGEND

- INNER CRITICAL ROOT ZONE

EXISTING TREE TO BE REMOVED

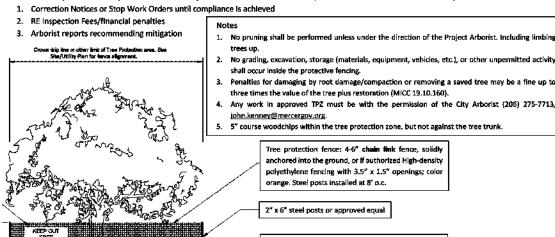
NON-VIABLE /EXISTING TREE IN

EXISTING TREE TO REMAIN

- AVERAGE DRIP LINE

POOR CONDITION

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to



TREE PROTECTION FENCING

STORM NOTES

STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13 THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WATER NOTES

- IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
- 2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA. AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- 3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SDT DTL

SANITARY SEWER NOTES

- EXISTING LOCATION OF SANITARY SEWER PER CITY OF MERCER ISLAND ASBUILT. CONTRACTOR TO VERIFY POINT OF CONNECTION WITHIN THE EASEMENT.
- CONNECTION TO THE SIDE SEWER. THE EXISTING SS LINE WITHIN THE EASE, EMT SHALL BE CLEANED, LOCATED AND INSPECTED BY CAMERA TO VERIFY SUITABILITY FOR RE-USE AND NEED FOR RE-LINING.
- PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18.
- . SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
- 5. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS

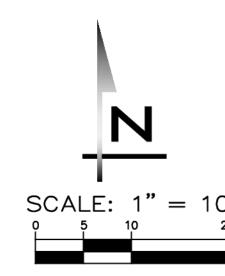
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10/11/23 JOB NUMBER: 22-042

SHEET NAME: TR-01

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KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER. YANNICK METS, PE PROJECT ENGINEER:

ALI RAMEZANI, PE DESIGNER: CHRISTOPHER WISCOMB

ISSUE DATE: 10/11/2023

STORM NOTES

- STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.
- 2. TYPE II CATCH BASINS TO BE INSTALLED PER COB STD DTL D-4. 3. STORM DRAIN CLEANOUTS TO BE INSTALLED PER COB STD DTL D-52.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

WATER NOTES

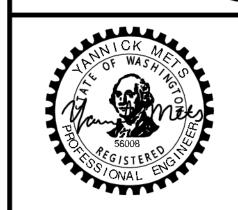
- . IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
- NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
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- EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT THE EASEMENT LINE.
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- SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
- 4. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS
- 5. MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

EXISTING UTILITY NOTE

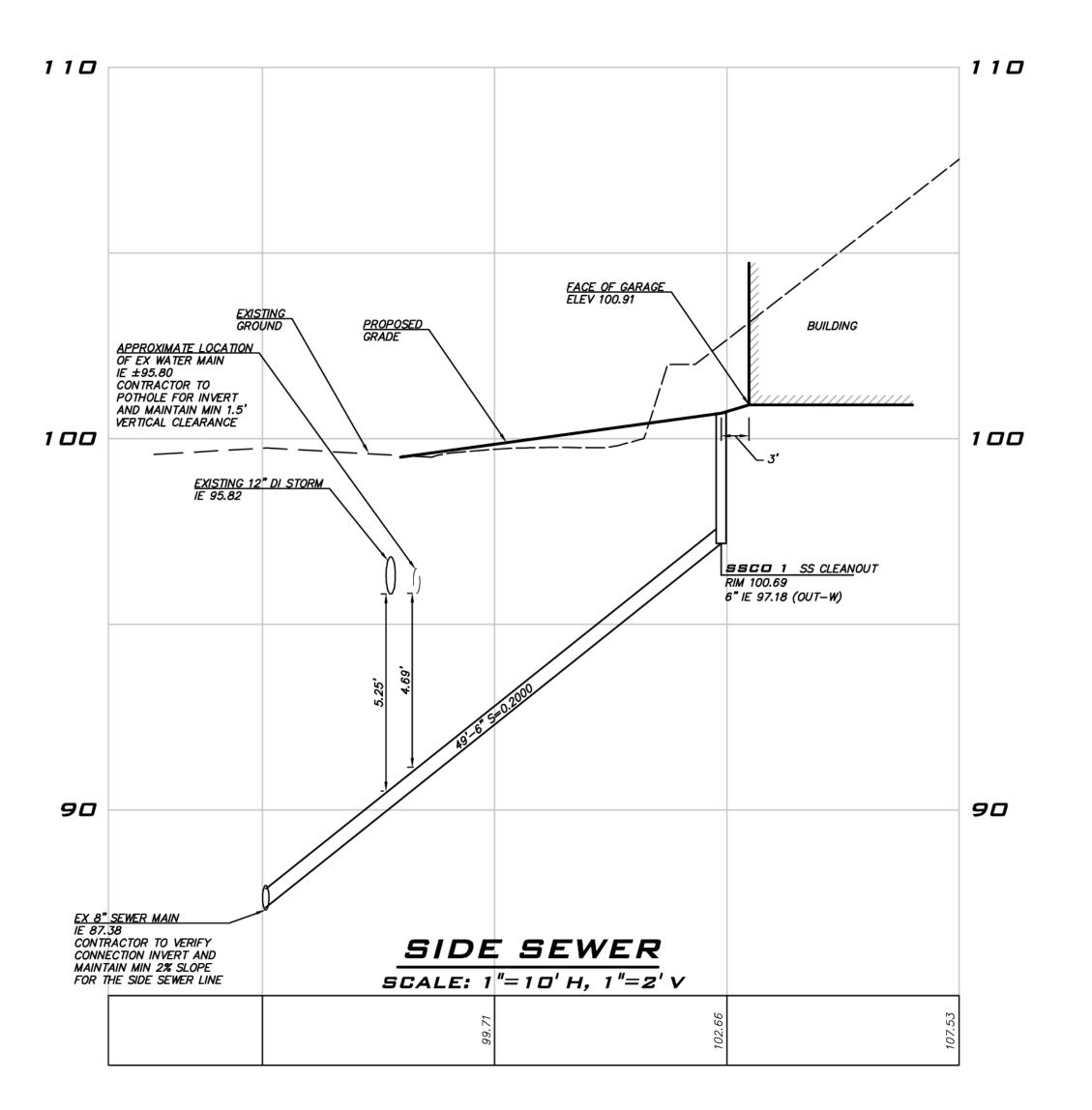
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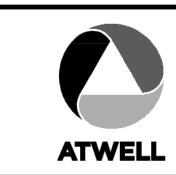


10/11/23 JOB NUMBER: 22-042

SHEET NAME: SP-01

<u>5</u> of <u>9</u> SHT





25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER:

YANNICK METS, PE PROJECT ENGINEER:

ALI RAMEZANI, PE

DESIGNER: CHRISTOPHER WISCOMB

ISSUE DATE: 10/11/2023

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	REVISIONS					
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	DATE					
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E SEWER PROFILE

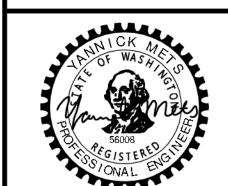
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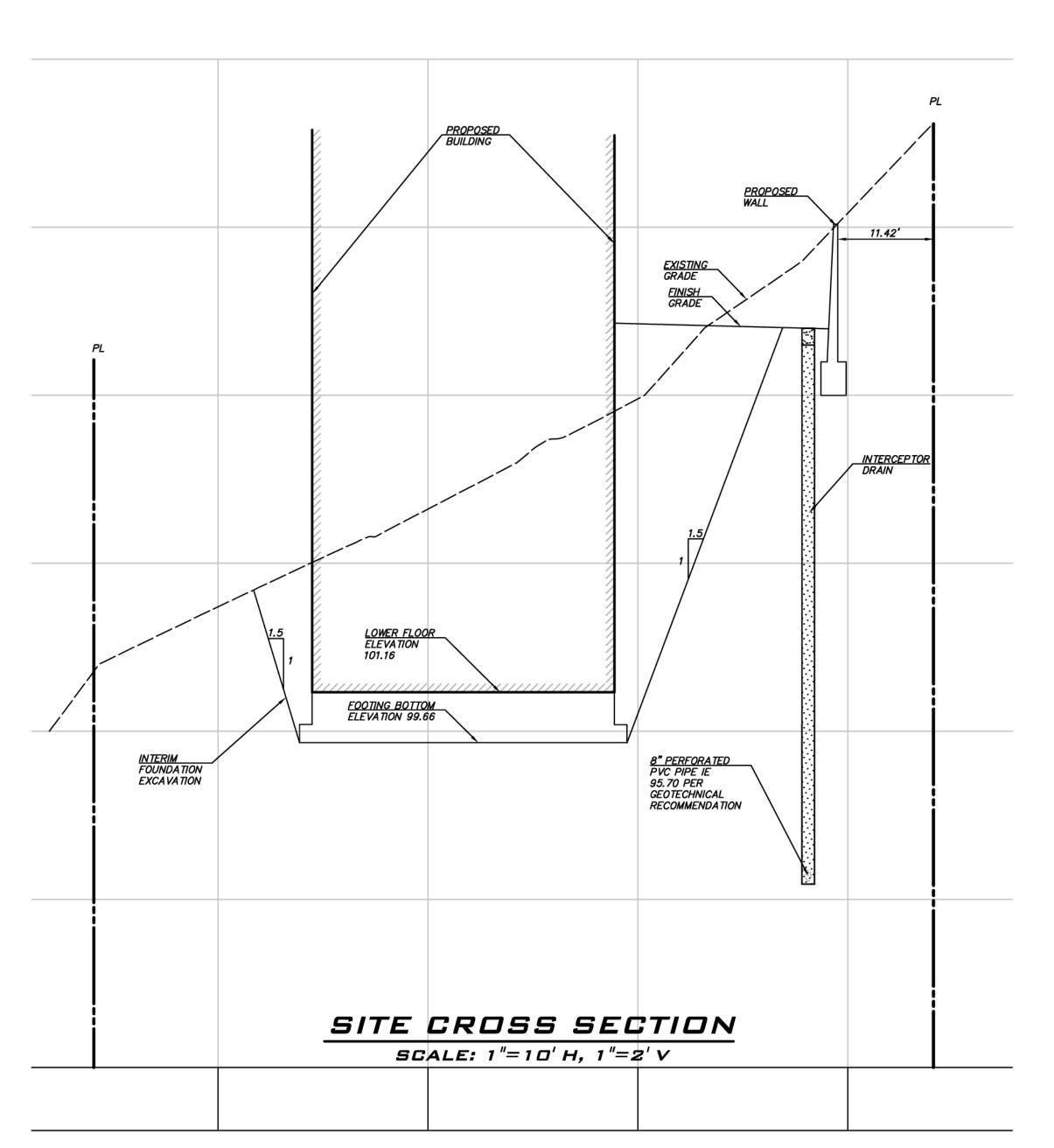
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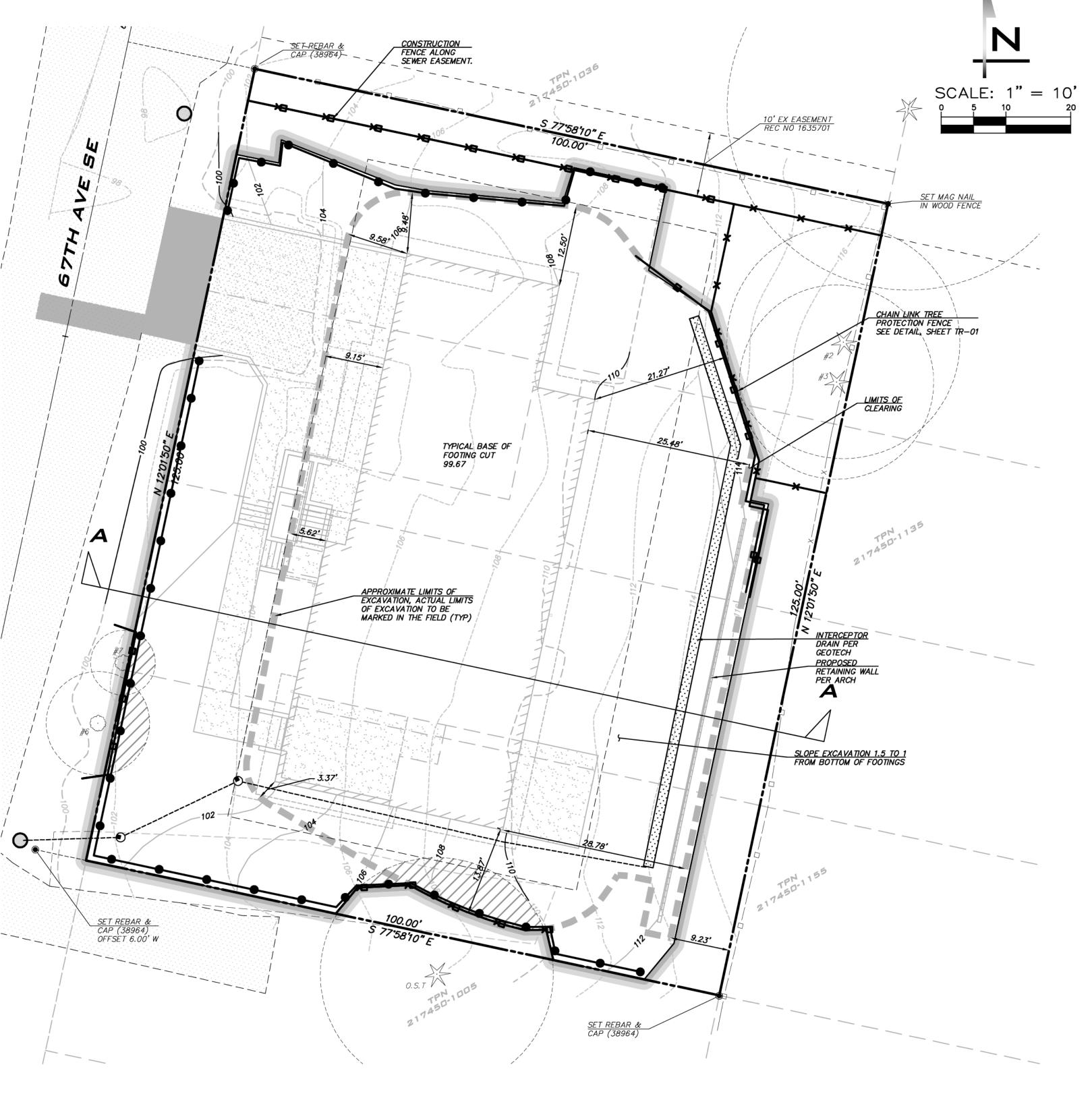


10/11/23 JOB NUMBER: **22-042**

SHEET NAME: **SS-01**

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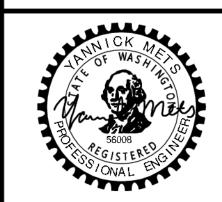
25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE: AS NOTED

PROJECT MANAGER: YANNICK METS, PE PROJECT ENGINEER:

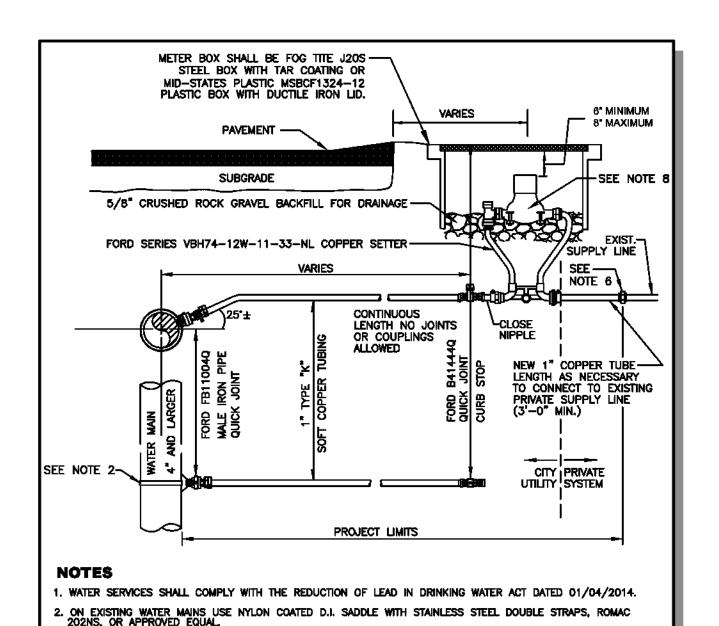
ALI RAMEZANI, PE DESIGNER: CHRISTOPHER WISCOMB

ISSUE DATE: 10/11/2023



10/11/23

22-042 SHEET NAME: TG-0 1



4. Plastic meter boxes shall not be installed within roadway, sidewalk, or driveways

MAIN AND STRAIGHT TO WATER METER,
S OTHERWISE APPROVED BY CITY ENGINEER.
DE WINDING SLACK IN THE SERVICE LINE
EN THE MAIN AND WATER METER.

9. ALL FITTINGS TO BE BRASS COMPRESSION TYPE, FORD QUICK JOINT OR EQUAL.

B. WATER METER SUPPLIED BY CITY.

B. WHEN CONNECTING TO EXISTING PRIVATE SUPPLY LINE CONTAINING FERROUS METAL, PROVIDE INSULATING COUPLING (DB SERIES WITH C21 SERIES ADAPTERS) AND PROVIDE REDUCER AS NECESSARY TO MATCH EXISTING PRIVATE SUPPLY LINE DIAMETER.

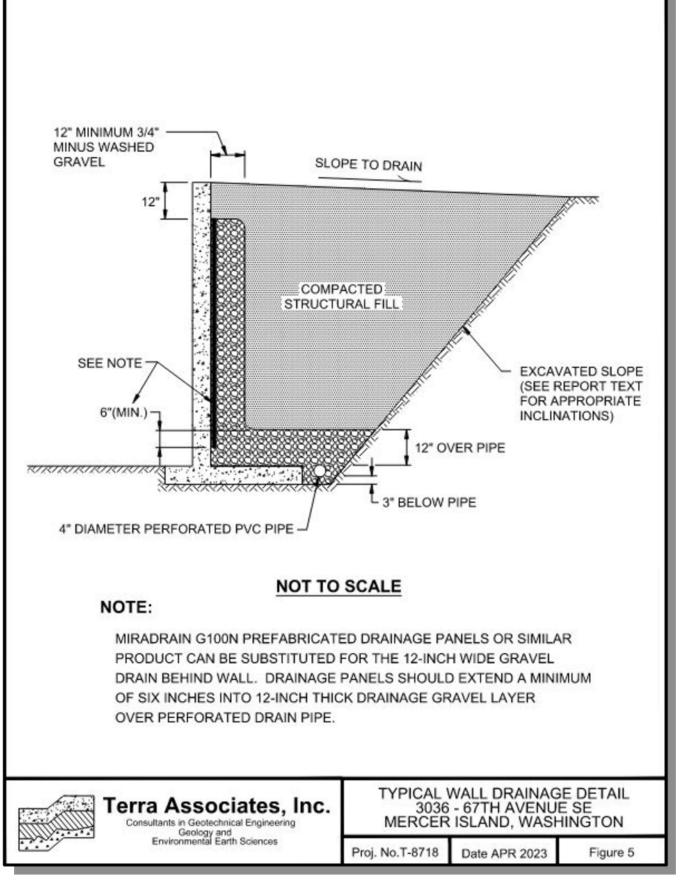
02-05-2021

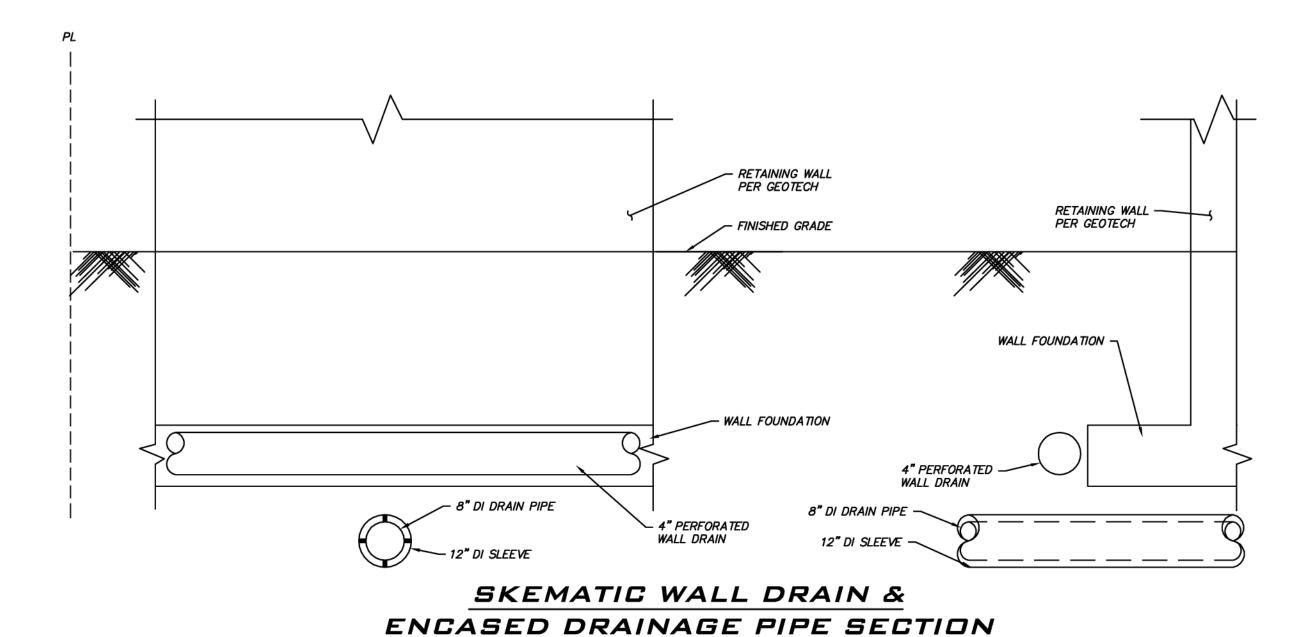
CITY OF MERCER ISLAND
STANDARD DETAILS

W-13

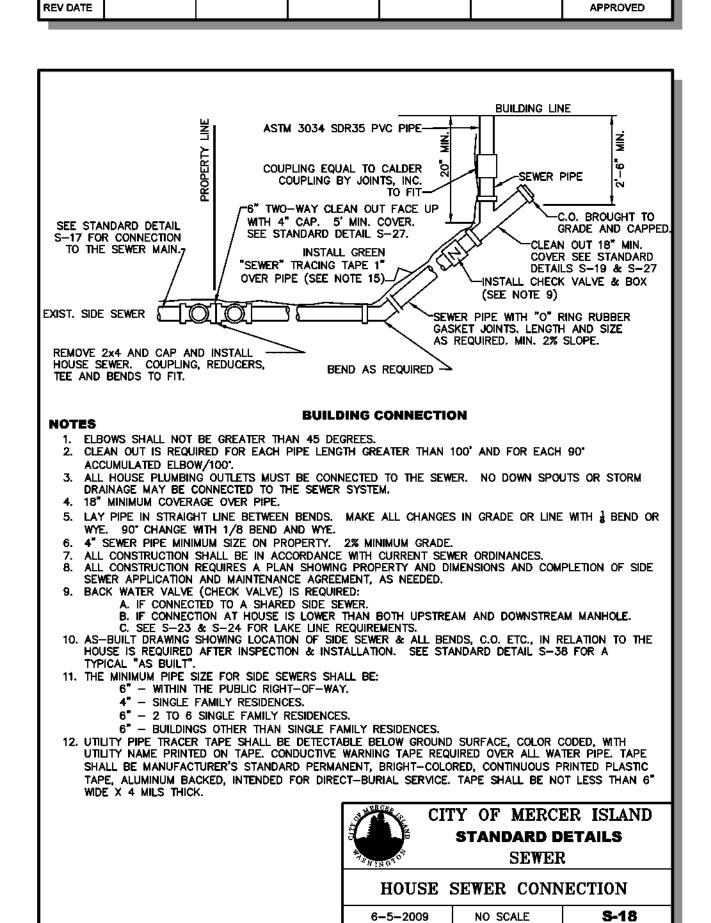
APPROVED

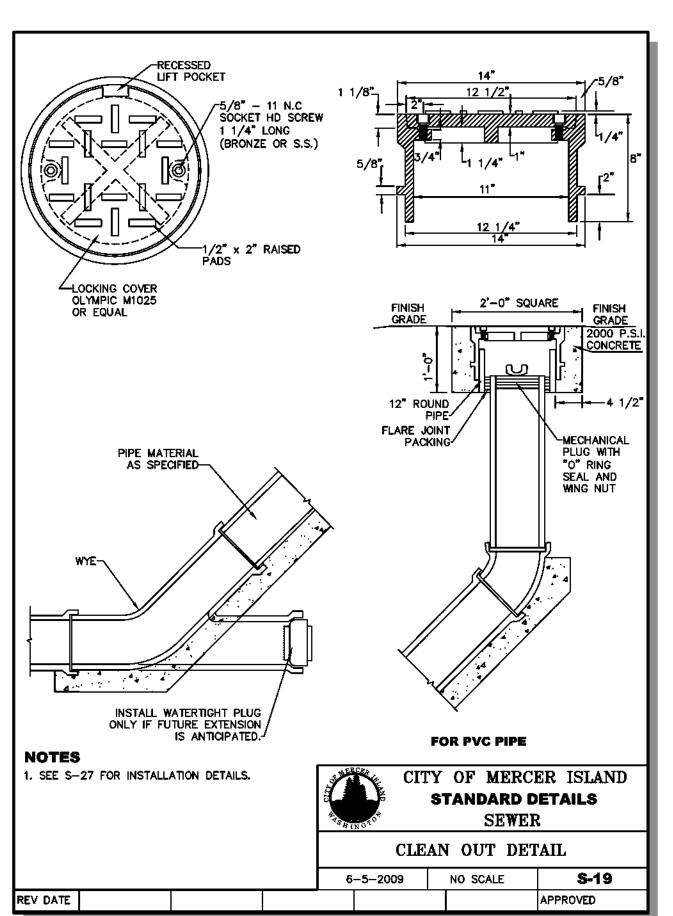
1" WATER METER INSTALLATION

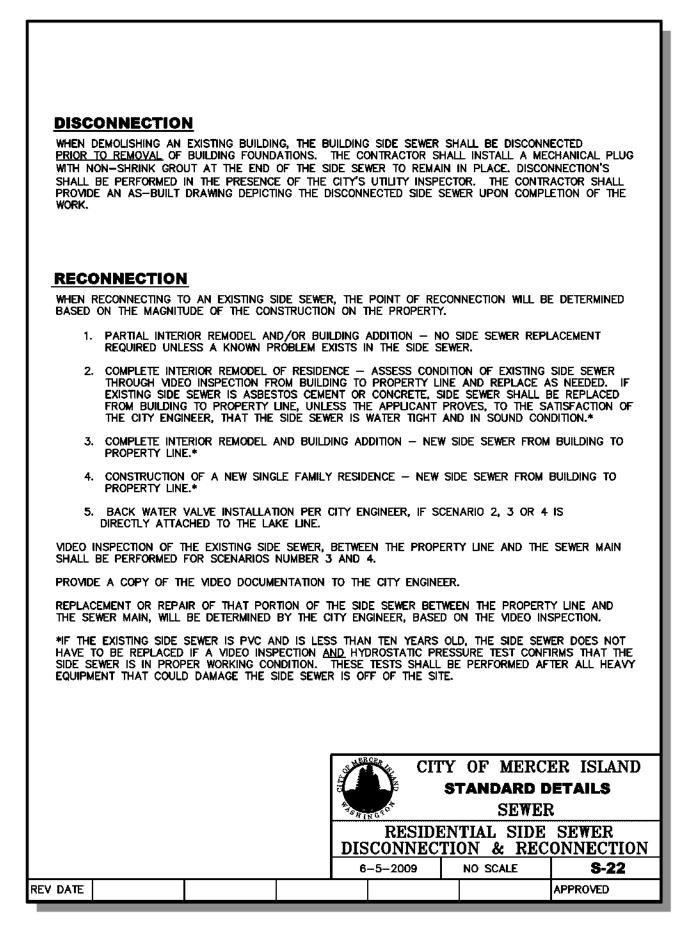


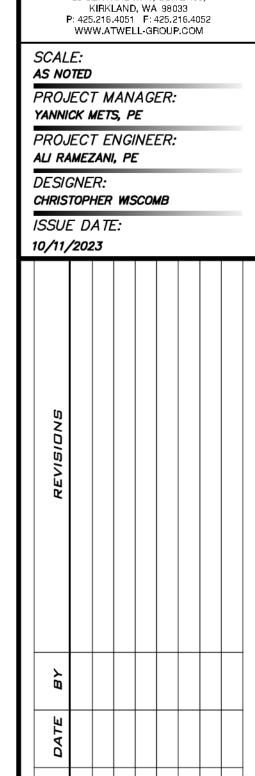


NOT TO SCALE









ATWELL

ETAILS H AVEN

6 67TH AV SITE PLA PARCEL 21745

POWASHINGS

S6008

10/11/23 Job Number:

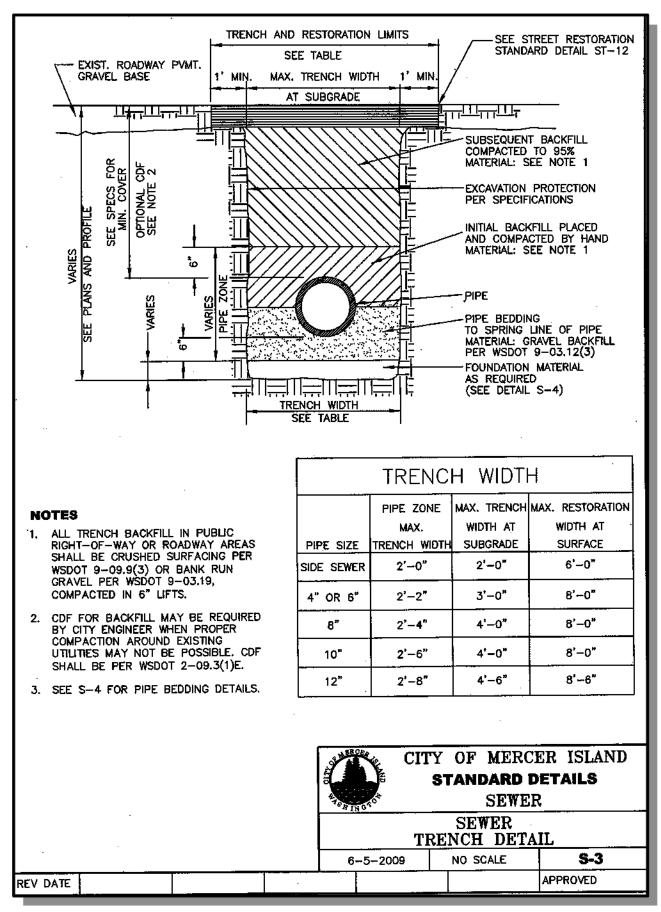
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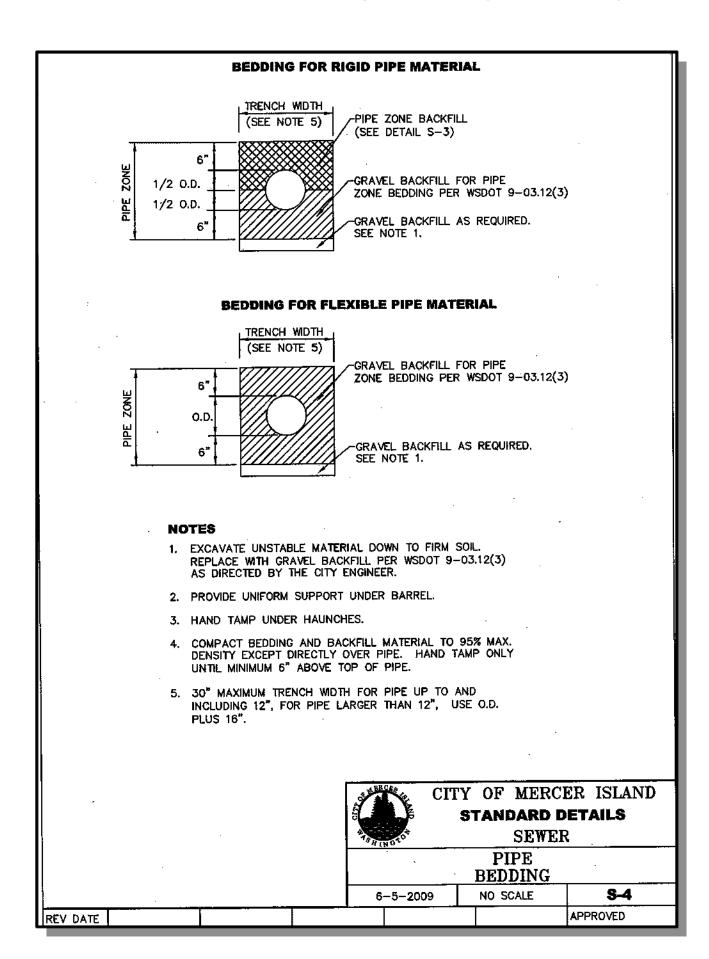
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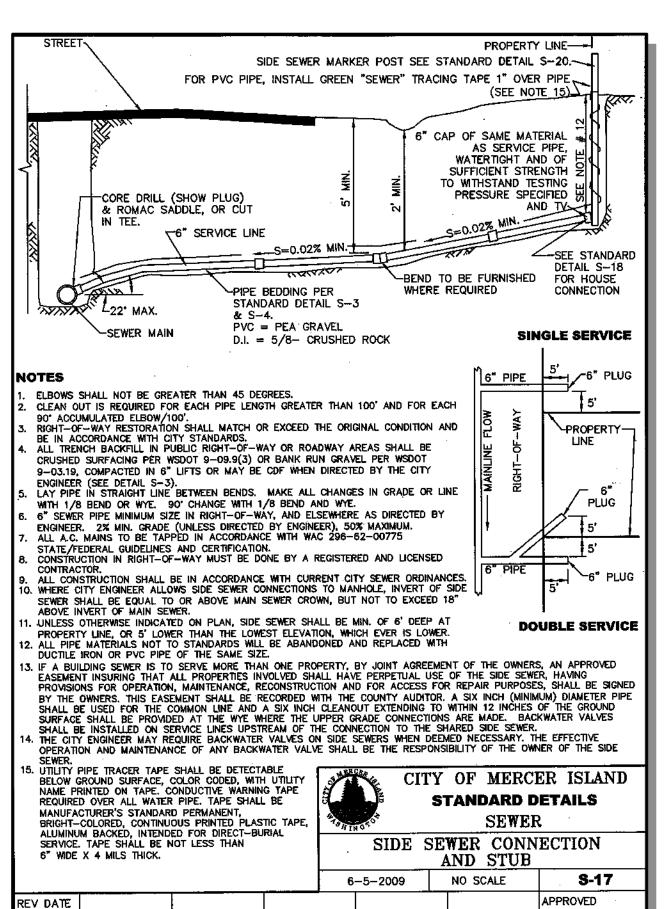
EXISTING UTILITY NOTE

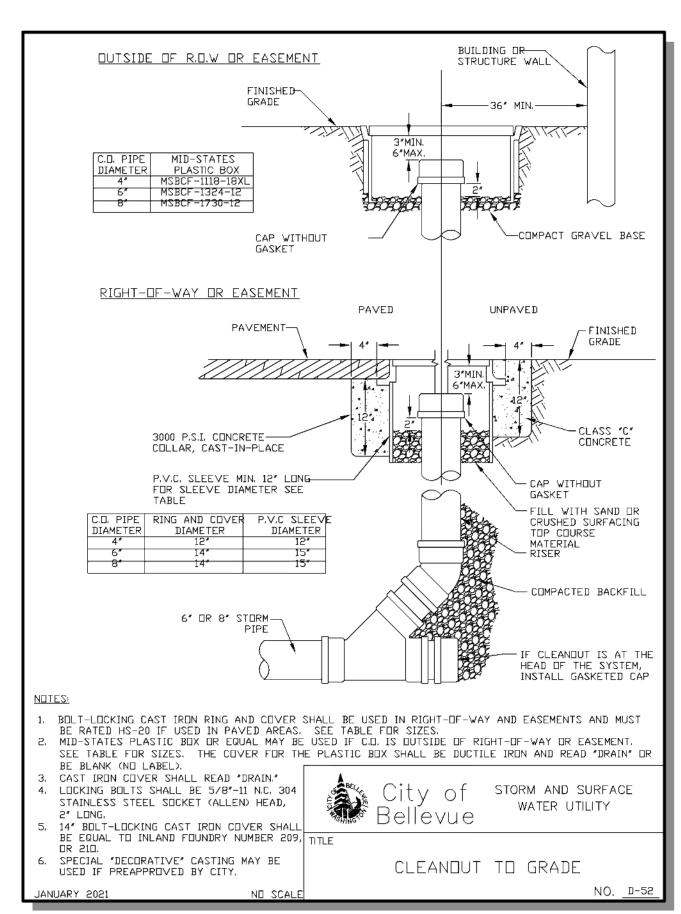
EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

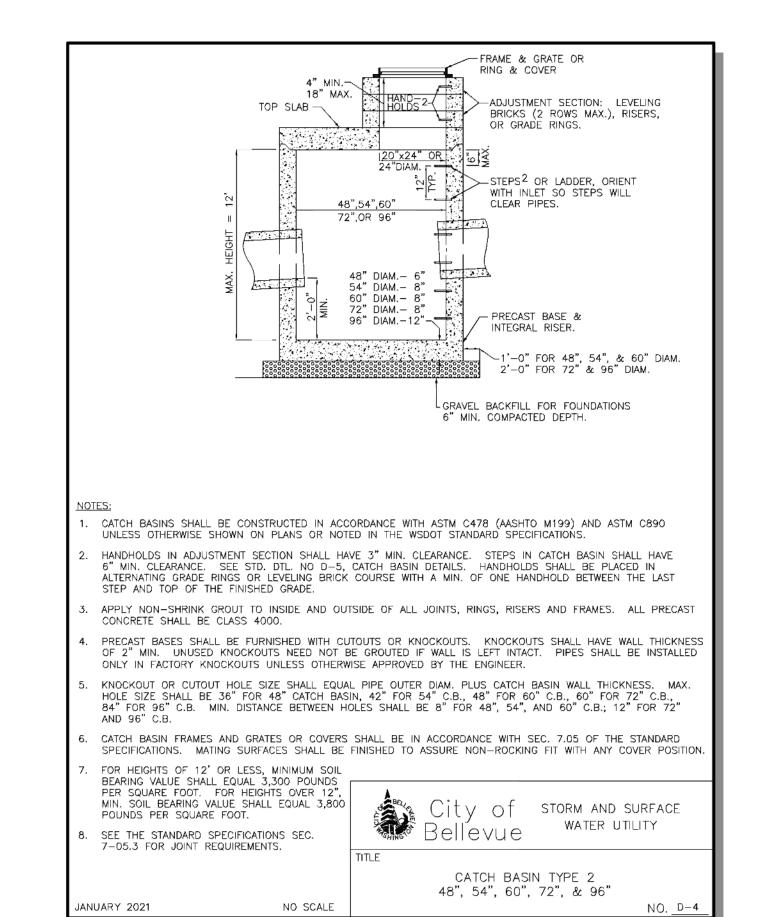
REV DATE













25 GENTRAL WAY, SUITE 400, KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.ATWELL-GROUP.COM

SCALE:
AS NOTED
PROJECT MANAGER:

PROJECT ENGINEER:

ALI RAMEZANI, PE

DESIGNER:
CHRISTOPHER WISCOMB

ISSUE DATE:

10/11/2023

Y REVISIONS

E SE

I AVENUE

SITE PLAN PARCEL 217450

THIN I CK MESTINGS

SEOUR SEOU

10/11/23 Job Number:

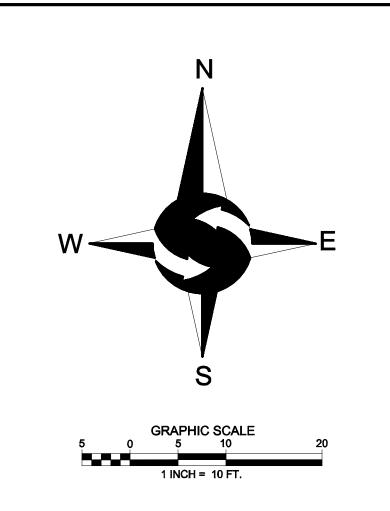
22-042

SHEET NAME:

DT-02 _{sнт} **9** оғ

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



LEGEND

O FOUND REBAR AS DESCRIBED ─ OHP─ OVERHEAD POWER SET MAG NAIL AS DESCRIBED OHU— OVERHEAD UTILITIES —□— WOOD FENCE W/1" YELLOW PLASTIC CAP CONCRETE WALL POWER METER — I — WIRE FENCE UTILITY POLE TIMBER WALL ROCKERY SANITARY SEWER MANHOLE ASPHALT SURFACE WATER VALVE CONCRETE SURFACE FIRE HYDRANT DOUGLAS FIR DECIDUOUS SEWER LINE APPROXIMATE LOCATION STORM * INDICATES MULTI-TRUNK

LEGAL DESCRIPTION

APPROXIMATE LOCATION UNDERGROUND WATER LINE

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR:

SITE SURVEYING, INC. 21923 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.298.4412

PROPERTY OWNER:

WILLIAM E. BUCHAN, INC 3036 67TH AVENUE SE MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: PROJECT ADDRESS:

3036 67TH AVENUE SE MERCER ISLAND, WA 98040

217450-1025

ZONING:

JURISDICTION: CITY OF MERCER ISLAND

PARCEL ACREAGE: 12,500 S.F. (0.286 ACRES) AS SURVEYED

GENERAL NOTES

1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.

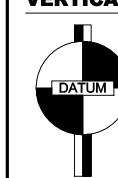
2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.

3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.

5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE

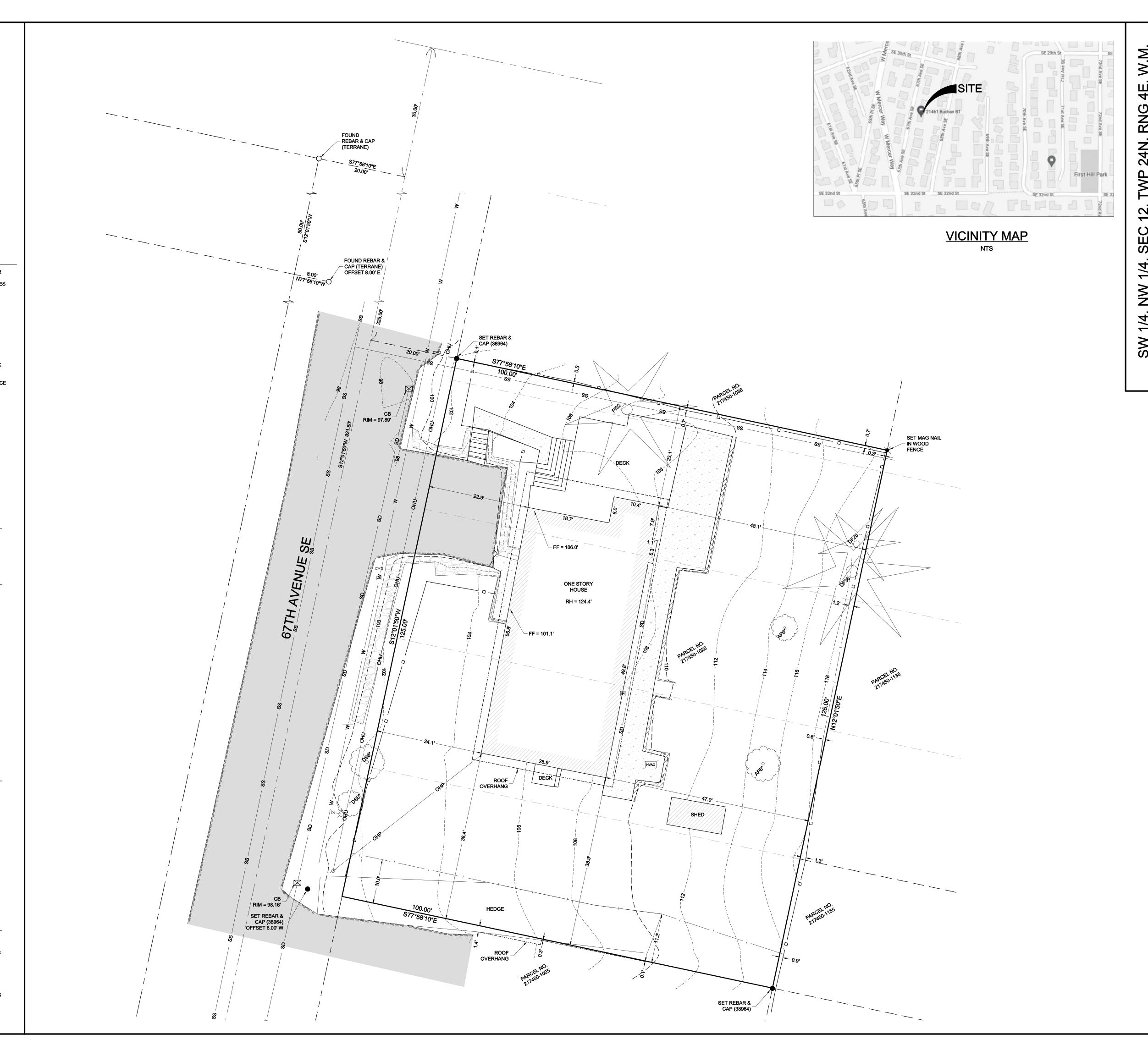
VERTICAL DATUM & CONTOUR INTERVAL



ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND. THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47746; ELEVATION: 112.571 FEET - NAVD 88

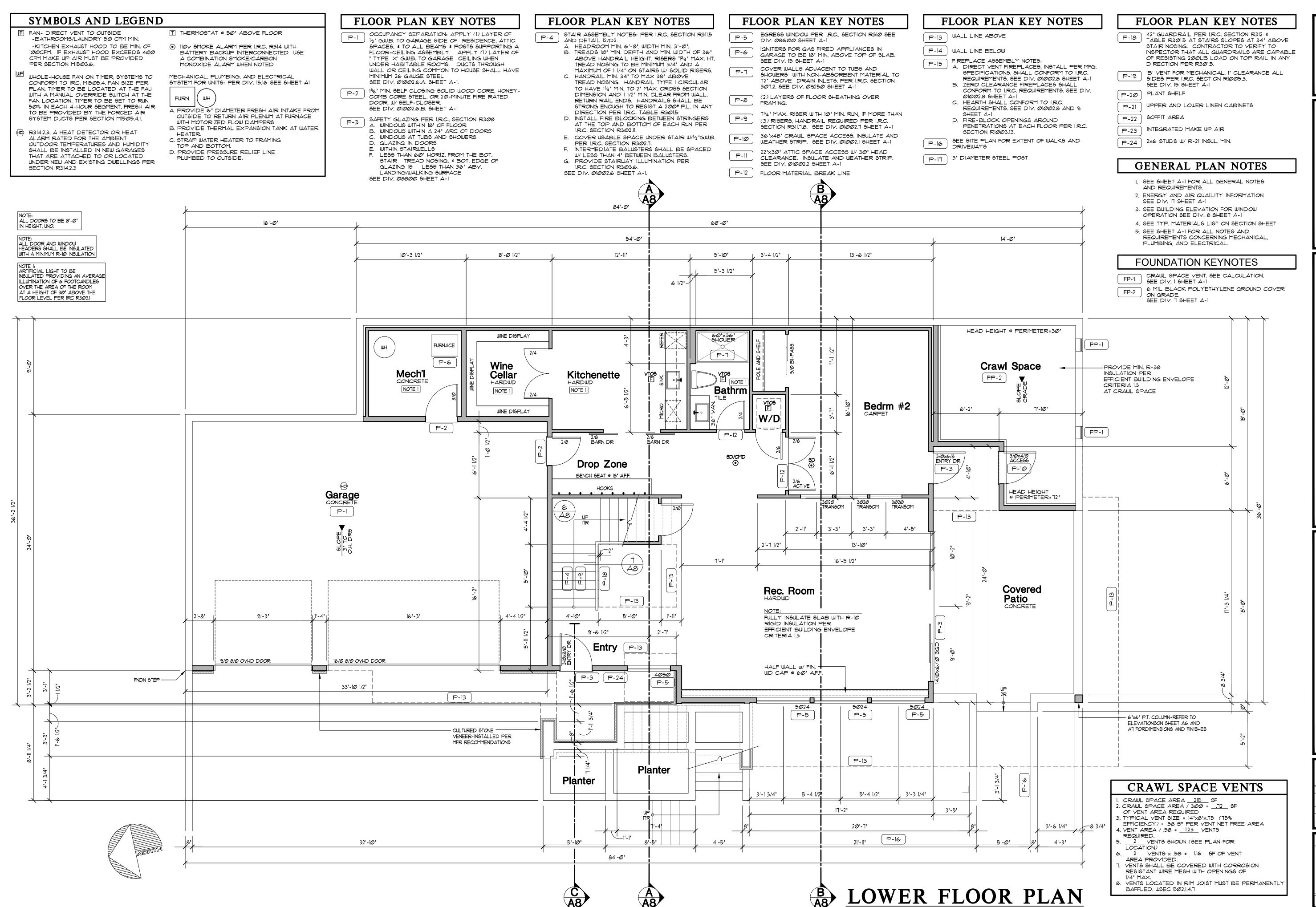
2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



PROJECT NO. 21-461

DRAWN BY: EFJ CHECKED BY: TNW DATE: 8/17/21

SHEET 1 OF 1



STATE OF WASHINGTON

SIGNATURE REQUIRED

te By Description

2/22 REY PERMIT SET

23 REY JURISDICTIONAL COMMENTS

5/23 REY JURISDICTIONAL COMMENTS

5/23 REY JURISDICTIONAL COMMENTS

5/24 REY JURISDICTIONAL COMMENTS

| Date By | 10/12/22 REY PEF | 10/12/22 REY JUF | 10/12/23 REY JUF | 1

Buchan Homes
Westview Pl
Permit no. 2210-120
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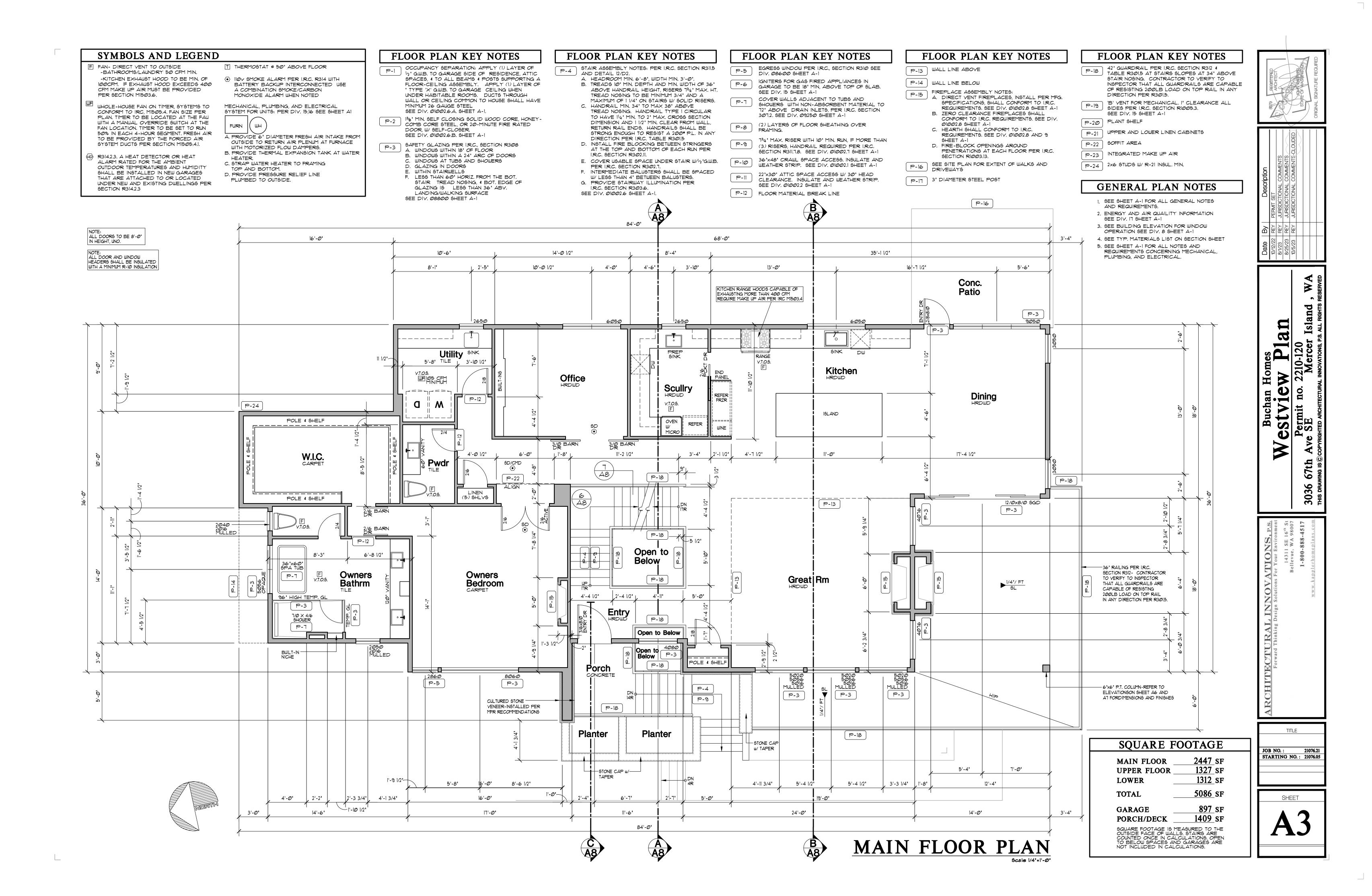
14311 SE 16th S

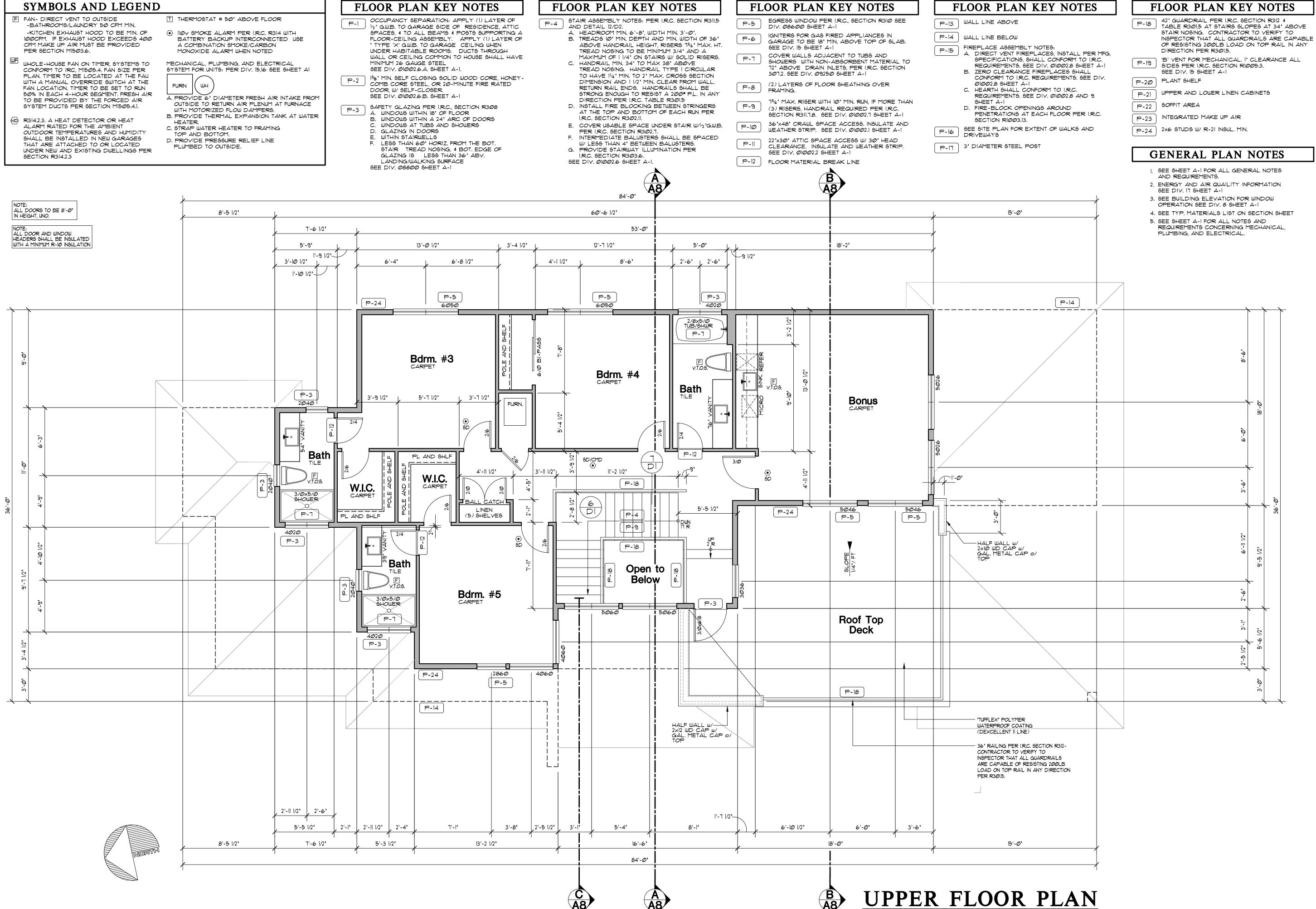
Bellevue, WA 98007

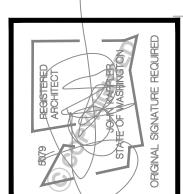
JOB NO.: 21076.21 STARTING NO.: 21076.05

SHEET

A2







Description

O/12/22 REY PERMIT SET

3/1/23 REY JURISDICTIONAL COMMENTS

0/5/23 REY JURISDICTIONAL COMMENTS

O/5/23 REY JURISDICTIONAL COMMENTS

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Permit no. 2210-120
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67th

3036

JOB NO. : 21076.21 STARTING NO. : 21076.05

SHEET A4

ROOF VENT CALCULATION TOTAL ROOF AREA<u>1453</u>SF/<u>150</u>=<u>9.69</u>SF OF VENT AREA REQ

197 L.F. OF EAVE VENTS AT 6.6 *SQ. IN./LF= 1300 SQ. IN.= 9 SF

TOTAL SF OF VENTILATION PROVIDED = $\frac{131}{100}$ SF

ROOF VENT CALCULATION TOTAL ROOF AREA 325 SF/ 150 = 2.16 SF OF VENT AREA REG 0.00 ROOF JACKS AT 38 SQ. IN. EACH= 0.00 SQ. IN. = 0.00 SF 74 L.F. OF EAVE VENTS AT 6.6 * SQ. IN./LF= 488 SQ. IN.= 339 SF TOTAL SF OF VENTILATION PROVIDED

ROOF VENT CALCULATION TOTAL ROOF AREA 540 SF/ 150 = 3.6 SF OF VENT AREA REQ 72 L.F. OF EAVE VENTS AT 6.6 + SQ. IN./LF = 475 SQ. IN. = 3.3 SF TOTAL SF OF VENTILATION PROVIDED

ROOF VENT CALCULATION TOTAL ROOF AREA 83 SF/ 150 = .55 SF OF VENT AREA REQ 33 L.F. OF EAVE VENTS AT 3.3+5Q. IN./LF= __108 __ SQ. IN.= _.76 _ SF TOTAL SF OF VENTILATION PROVIDED

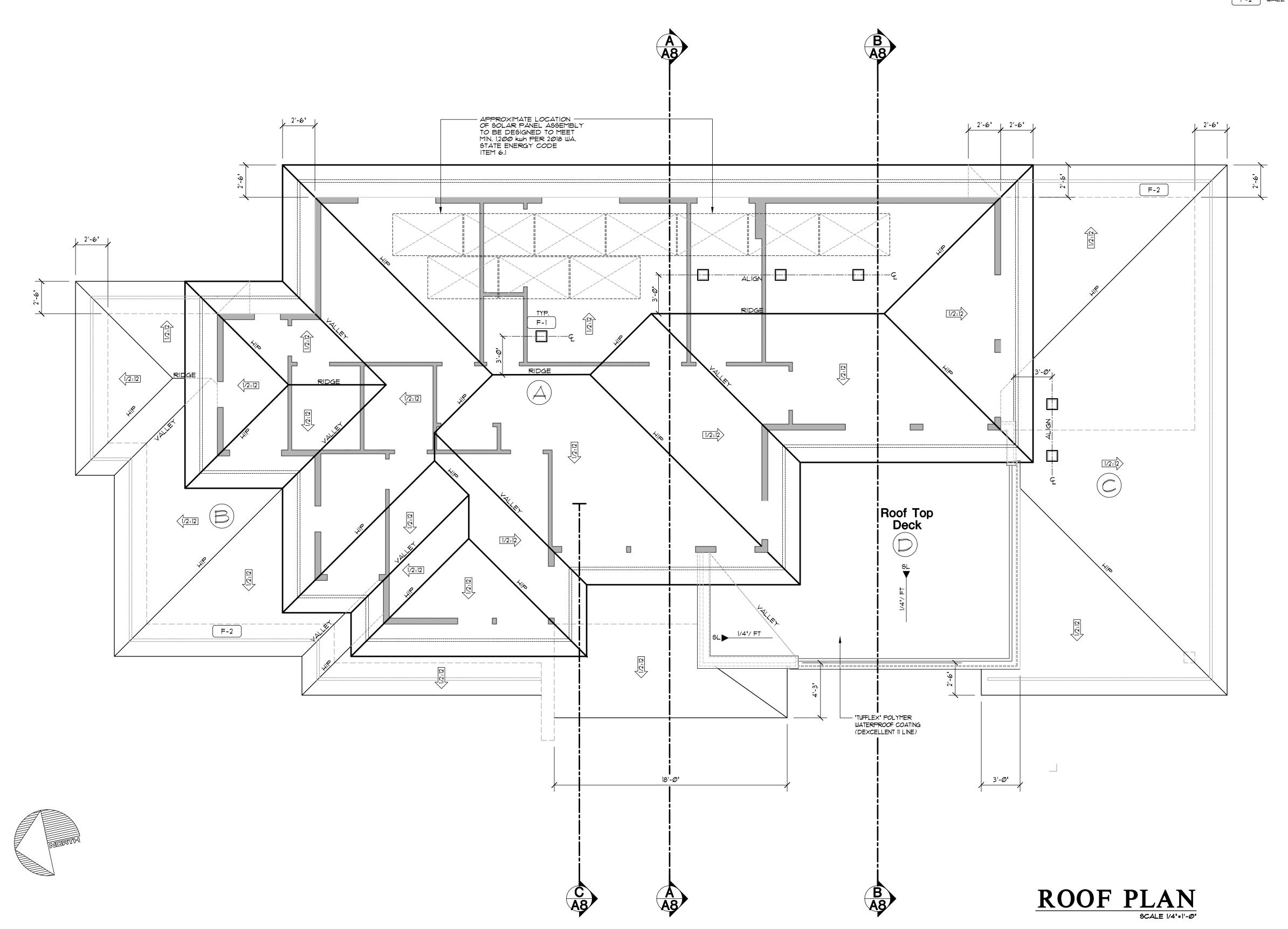
GENERAL PLAN NOTES

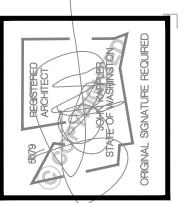
- 1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- 2. ENERGY AND AIR QUAILITY INFORMATION SEE DIV. 17 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1 4. SEE TYP. MATERIALS LIST ON SECTION SHEET 5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

ROOF PLAN KEY NOTES

F-1 ATTIC SPACE VENT SEE CALCULATION SEE DIV. 01002.3.B SHEET A-1

F-2 WALL LINE BELOW



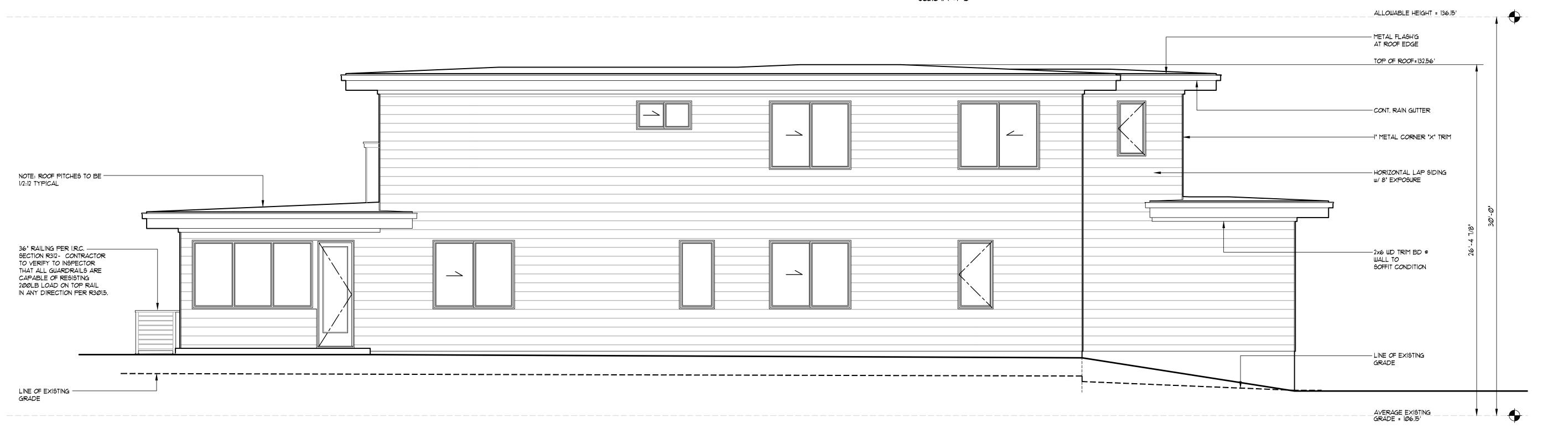


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Westview Plan
Permit no. 2210-120
th Ave SE 67th

JOB NO. : 21076.21 STARTING NO. : 21076.05



FRONT ELEVATION



REAR ELEVATION

TYPICAL BUILDING MATERIALS					
ROOF CONSTRUCTION	•	EXTERIOR WALL CONST	TRUCTION	•	FLOOR CONSTRUCTION
ROOFING: (DIV. 7)	SHINGLES (DIV. 01000.5)	SIDING MATERIAL: (DIV. 7) BUILDING WRAP: (DIV. 7)	WOOD SIDING (DIV. 0100.5) 15# BUILDING PAPER		FLOORING: (DIV. 9)

30# BUILDING PAPER 7/16° O.S.B. OR EQUAL PER PLAN R-49 BLOWN-IN 1/2° RE-SAWN PLYWOOD 5/8° GWB

15# BUILDING PAPER
1/2" CDX PLYWOOD OR EQUAL
2 X 6 STUDS AT 16" OC
R-21 BATT W/ INTEGRAL
VAPOR BARRIER BUILDING WRAP: (DIV. 7)
SHEATHING: (DIV. 6)
FRAMING: (DIV. 6)
INSULATION: (DIV. 7) **GWB**: (DIV. 9) 1/2" GWB

FINISH PER PLANS (DIV. 0100.5) 3/4" T&G (PLYWD, COMPLY, OR EQ.) PER PLANS R-30 BATT 1/2" RE-SAWN PLYWOOD

TRIM:(DIV. 6) WINDOW: (WITH NO BRICK MOLD) CORNER BOARDS: FASCIA:

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TITLE JOB NO. : 21076.21 STARTING NO. : 21076.05

2018 Energy Credits

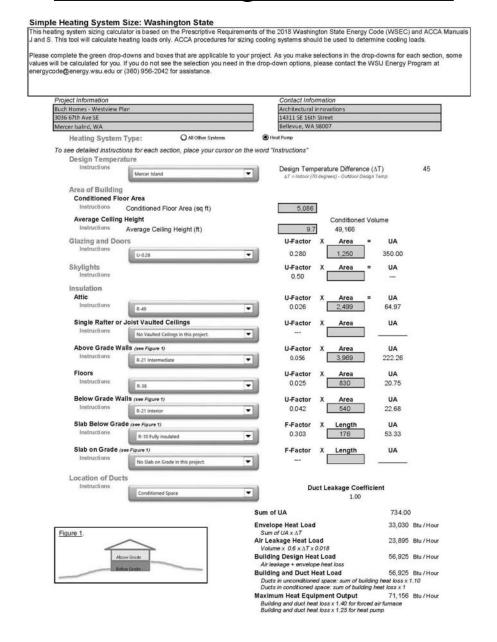
Glazing Schedule

Heat Sizing Worksheet

Total Sum of Fenestration Area and UA (for heating system sizing calculations) 1250.2 350.05

Sum of Overhead Glazing Area and UA

Overhead Glazing Area Weighted U = UA/Area



2 HEAT PUMP 1.0 credits

VERTICAL FENESTRATION MIN U=.28

SLAB ON GRADE R-10 UNDER ENTIRE SLAB

EQUIPMENT LISTED IN TABLE C403.3.2(1) OR C403.3.2(2)

HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S)
INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF

13 EFFICIENT BUILDING ENVELOPE .5 credits

3.5 HIGH EFFICIENCY HVAC EQUIPMENT 1.5 credits

AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM

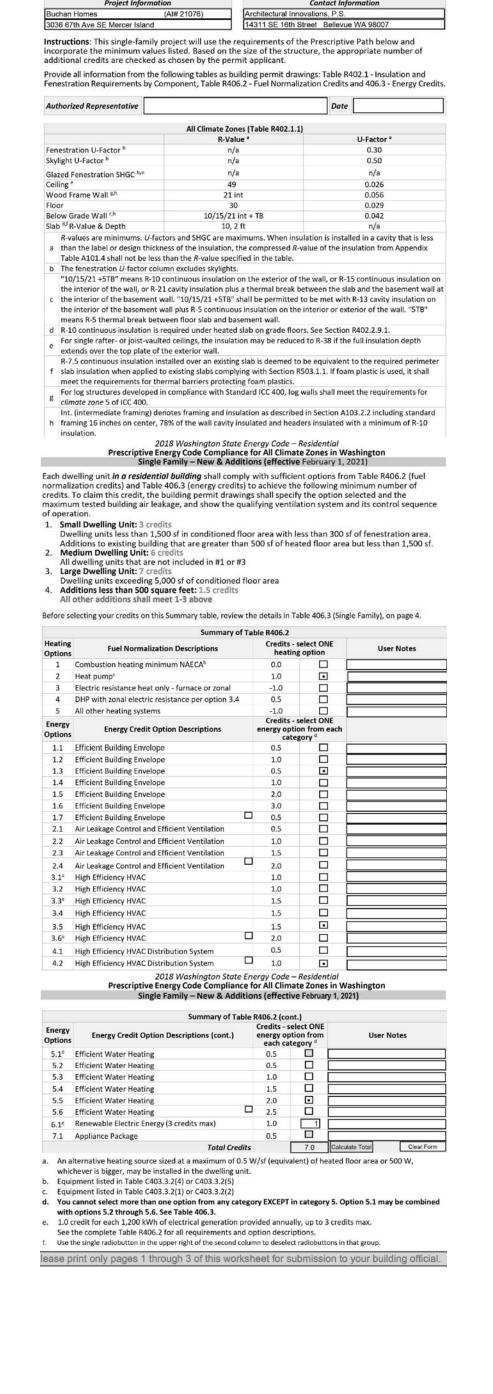
LOCATED SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION.
ELECTRICAL RESISTANCE HEAT AND DUCTLESS HEAT PUMPS

DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS

4.2 HIGH EFFICIENCY HVAC DISTRIBUTION 1.0 credits

2018 Washington State Energy Code – Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family – New & Additions (effective February 1, 2021) These requirements apply to all IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses).

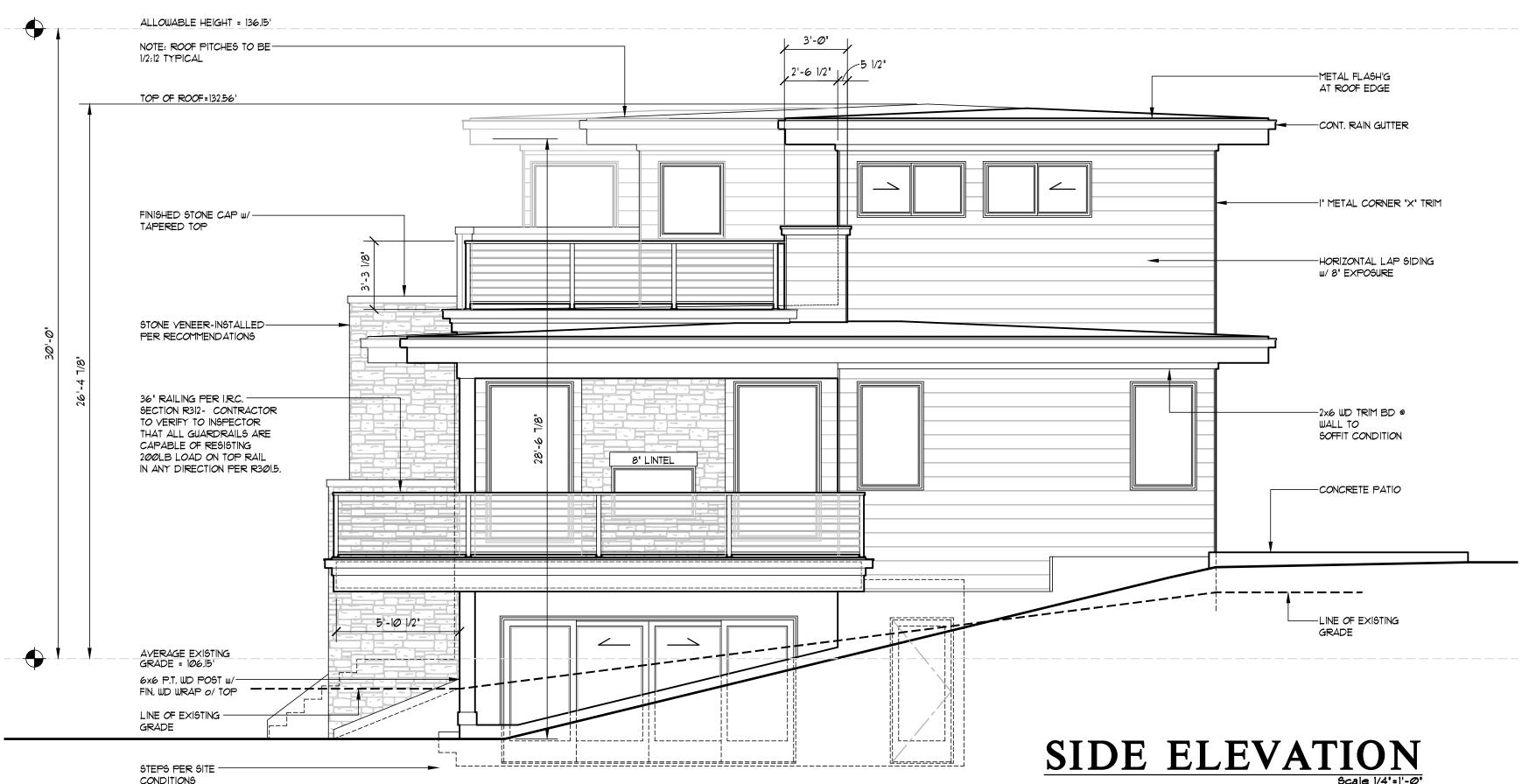
Prescriptive Compliance

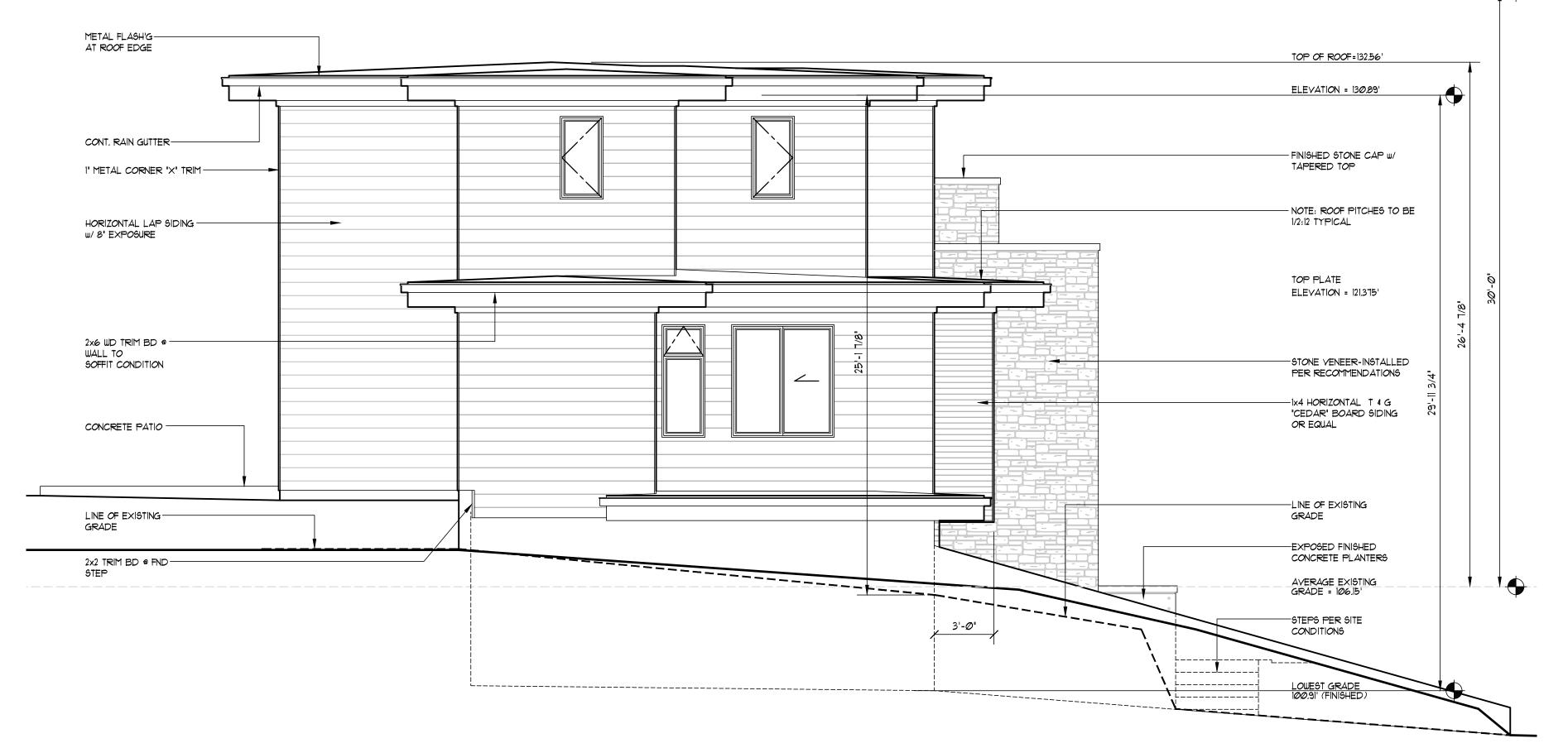


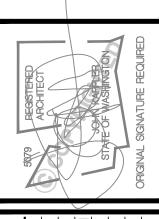
5.5 EFFICIENT WATER HEATING 2.0 credit WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING:
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER 3 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION.
OR

FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S)
MEETING THE STANDARDS FOR TIER 3 OF NEEA'S ADVANCED
WATER HEATING SPECIFICATION, SHALL SUPPLY DOMESTIC HOT
WATER TO ALL UNITS. IF ONE WATER HEATER IS SERVING
MORE THAN ON DWELLING UNIT, ALL HOT WATER SUPPLY AND
RETICULATION PIPING SHALL BE INSULATE WITH MIN R-8
MINIMUM PIPE INSULATION

6.1 RENEWABLE ELECTRIC ENERGY OPTION
1.0 credit
SOLAR ENERGY PANELS TO BE INSTALLED ON EXISTING ROOF.
Documentation showing photovoltaic shall be submitted indicating minimum annual energy power production.







Date By Description

10/12/22 REY PERMIT SET

8/17/23 REY JURISDICTIONAL COMMENTS

8/25/23 REY JURISDICTIONAL COMMENTS

10/5/23 REY JURISDICTIONAL COMMENTS

10/5/23 REY JURISDICTIONAL COMMENTS

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Permit no. 2210-120
Ave SE Mercer Island, WA

ALLOWABLE HEIGHT = 136.15'

SIDE ELEVATION

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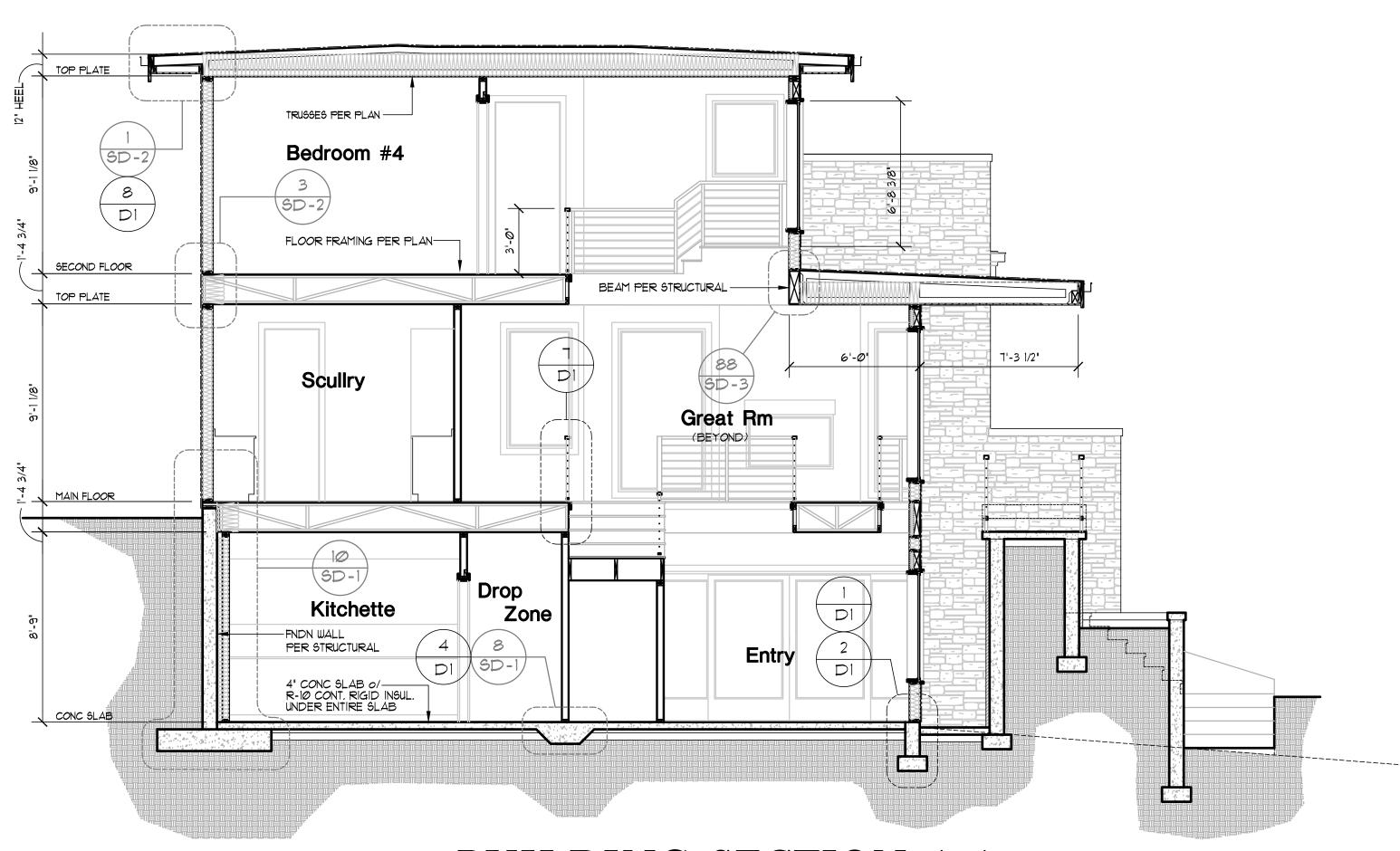
www.kapplerhomeplans.com

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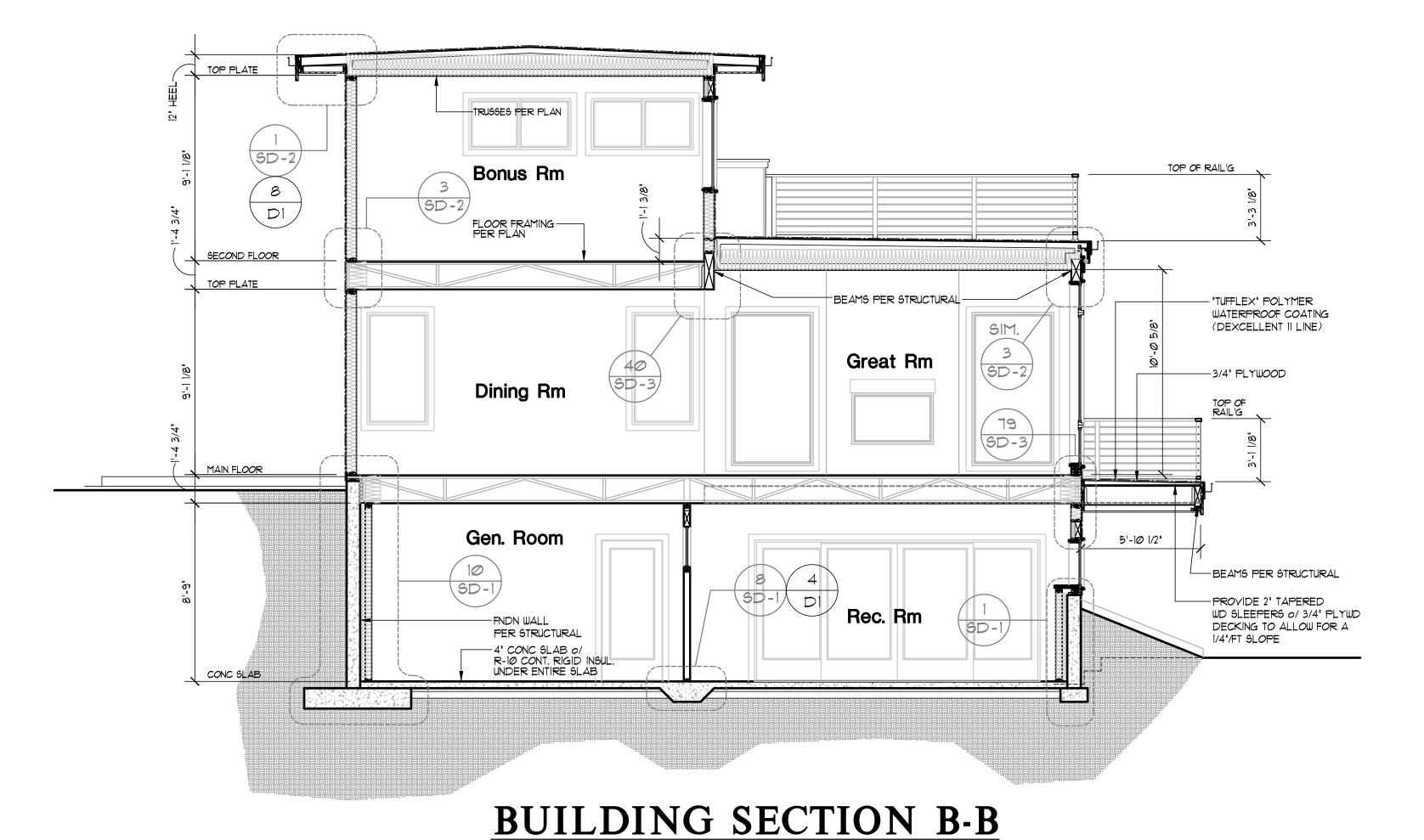
JOB NO.: 21076.21
STARTING NO.: 21076.05

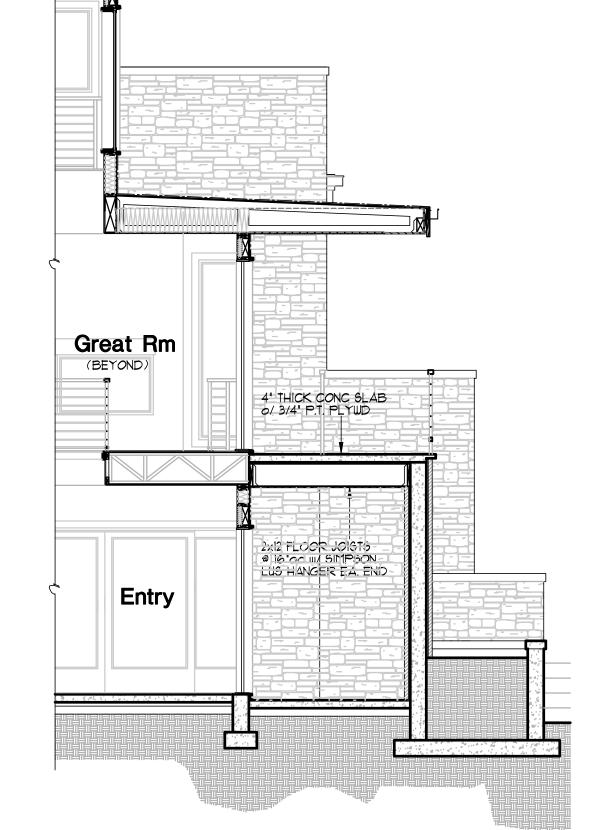
SHEET

A7

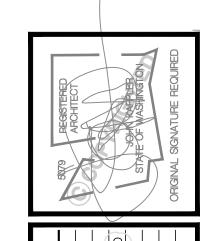


BUILDING SECTION A-A





BUILDING SECTION C-C

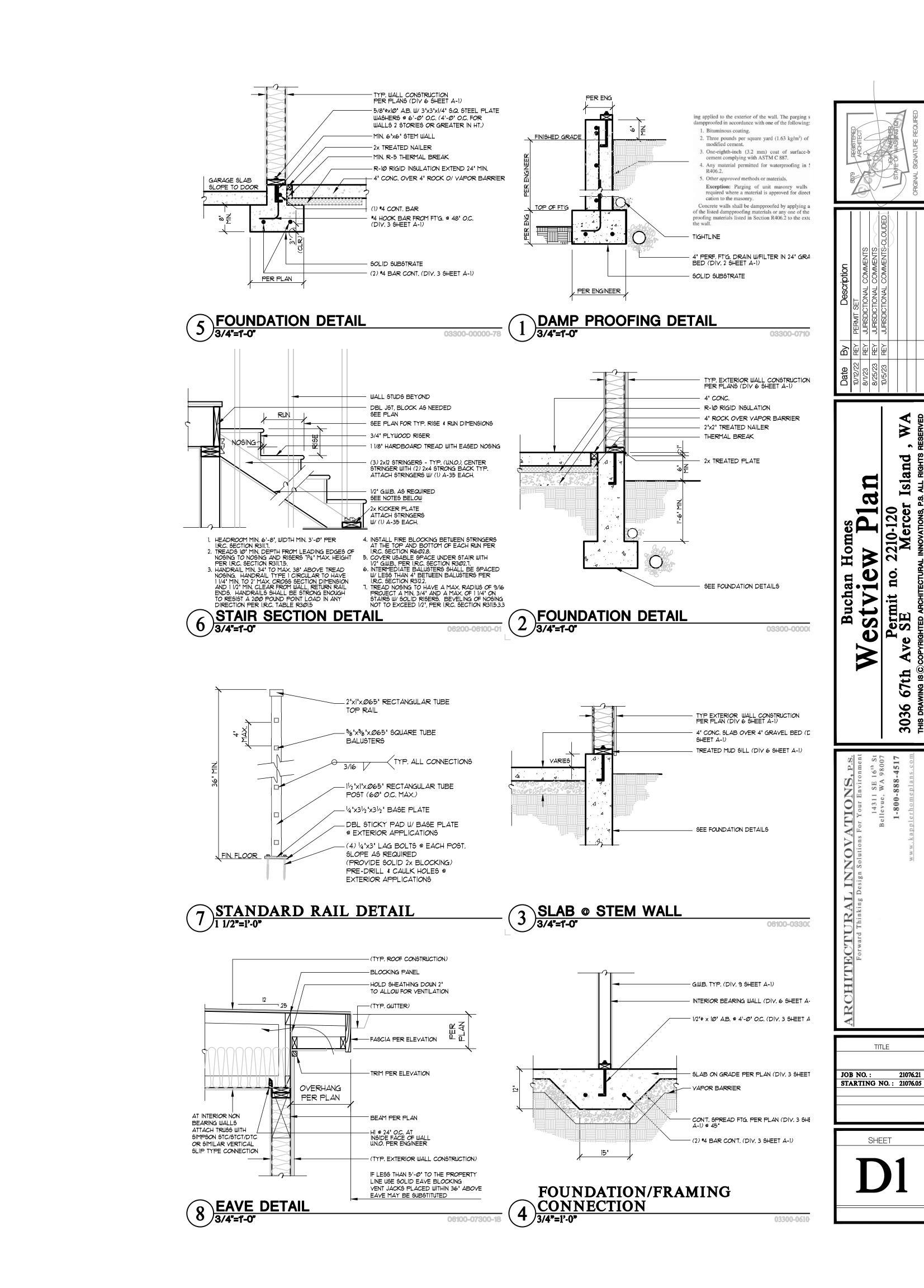


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Description	PERMIT SET	JURISDICTIONAL COMMENTS	JURISDICTIONAL COMMENTS	JURISDICTIONAL COMMENTS-CLOUDED			
By	λ∃U	ЬEY	YEY	Υ Ξ Ν			
Date By	10/12/22 REY	8/1/23	8/25/23 REY	10/5/23			

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th Ave SE
Mercer Islan

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TITLE JOB NO. : 21076.21 STARTING NO. : 21076.05



Island

67th

3036

TITLE

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PILE STRUCTURAL NOTES

GRADE BEAM ON PIPE PILINGS:

- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).
- PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILINGS REQUIRED TO REACH DESIGN LOAD CAPACITY IN ACCORDANCE WITH ASTM DI143-81. - 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES
- PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.
- PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS TOGETHER.
- GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PIN PILE INSTALLATION & LOAD TEST.

PORCH SLAB

4" CONC. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GARAGE SLAB

4" CONC. SLAB ON GRADE ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

BASEMENT SLAB

4" CONC. SLAB ON GRADE ON

8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE **\$ 2018 INTERNATIONAL BUILDING CODE**
- FOUNDATIONS HAS BEEN DESIGNED BASED ON GEOTECH REPORT PROVIDED BY TERRA ASSOCIATES, INC., DATED AUGUST 18, 2022, REVISED APRIL 21, 2023.
- DESIGN LOADS: SOIL 2,000 PSF ALLOWABLE BEARING PRESSURE
- CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.: f'c = 2,500 psi: FOUNDATION WALLS*
- 2,500 psi: FOOTINGS* 2,500 psi: INTERIOR SLABS ON GRADE 3,500 psi: EXT. SLABS ON GRADE fy = 60,000 psi
- * UTILIZE 51/3" SACK 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3,000 PSI CONCRETE FOR WEATHERING POTENTIAL • ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN.; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES. FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, B'
- EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK. • ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH 5/4" DIA. ANCHOR BOLTS W/ MIN. 3"x3"x 1/4" PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN 1/3" OF EXTERIOR EDGE OF SILL PLATE) & NUTS @ 6'-0" O.C. @ 2-STORY \$ 4'-0" O.C. @ 3-STORY CONDITIONS w/ 7" MIN EMBEDMENT INTO CONC. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE. • ARCH/BUILDER TO VERIFY ALL DIMENSIONS

HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING: A. ROOF TRUSSES:

- 1/4" DEAD LOAD 3. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
- 1/8" DEAD LOAD
- FRAMING BY OTHERS
- LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR

LOADING AND DESIGN PARAMETERS

GRAVITY DESIGN LOADS: DEAD LOAD (PSF): ROOF TRUSS TOP CHORD ROOF TRUSS BOTTOM CHORD FLOOR TRUSSES:

BALCONY LIVE:

FLOOR (SOLID SAWN): LIVE LOAD (PSF): R00F : RESIDENTIAL LIVING AREAS:

RESIDENTIAL SLEEPING AREAS :

SNOW LOAD: GROUND SNOW LOAD (Pa) (PSF): FLAT ROOF SNOW LOAD (P;) (PSF): SNOW EXPOSURE FACTOR (C.): SNOW LOAD IMPORTANCE FACTOR (I):

THERMAL FACTOR (C₁):

LATERAL DESIGN LOADS:

WIND LOAD: (IBC 1609) SPEED (Vuit) (MPH) : WIND RISK CATEGORY: IMPORTANCE FACTOR (Iw): EXPOSURE CATEGORY: INTERNAL PRESSURE COEFF. (GCp):

SEISMIC LOAD: (IBC 1613) SFISMIC RISK CATEGORY :

TOPOGRAPHIC FACTOR (Kzt):

Sps: 0.938

SEISMIC IMPORTANCE FACTOR (I.): MAPPED SPECTRAL RESPONSE: Ss: 1.407 Sı: 0.490 SITE OLASS: SPECTRAL RESPONSE COEFF.

SEISMIC DESIGN CATEGORY: BASIC SEISMIC-FORCE-RESISTING SYS: LIGHT FRAMED WALLS W/WOOD STRUCTURAL PANELS

Spi: 0.591

DESIGN BASE SHEAR (ULT.): TRANS: 23k LONG: 23k SEISMIC RESPONSE COEFF. (Cs) (ADDITION): TRANS: 0.144 LONG: 0.144

RESPONSE MODIFICATION FACTOR (R): TRANS: 6.5 LONG: 6.5 ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

LATERAL BRACING NOTES

THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. C

(ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.

IO MPH WIND IN 2018 IRC MAF ENGINEERED DESIGN WAS COMPLETED PER

2018 IBC (SECTION 1609 & 1613) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.

STANDARD EXTERIOR WALL SHEATHING <u>SPECIFICATIONS</u>

(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)

• 16" OSB OR 132" PLYWOOD:

FASTEN SHEATHING W/ 23"x0.131" NAILS @ 6"o.c. AT ALL SUPPORTED PANEL EDGÉS AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION U.N.O. ON

<u>3" o.c. EDGE NAILING</u> (WHERE NOTED ON PLANS)

• 1/6" OSB OR 15/32" PLYWOOD:

ONLY AT LOCATIONS INDICATED ON PLANS - SHEATHE WALL SHOWN WITH 16" OSB. FASTEN SHEATHING W/ 21"XO.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER, ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

±0.18

- I. LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" o.c.
- 2. ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"x0.131" NAILS @ 8" O.C. USE (12)31/2"x0.135" NAILS AT EACH LAP SPLICE, (6) EACH SIDE OF JOINT (TYP. U.N.O)
- 3. ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
- 4. ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

LEGEND

- IIIIII INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL
- --- BEAM / HEADER
- INTERIOR SHEAR WALL FAIRLE ON EXTERIOR SHEAR WALL W/3" O.C. EDGE NAILING
- INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- 米 INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.
- • INDICATES PIPE PILE

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

• DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE **\$ 2018 INTERNATIONAL BUILDING CODE** • WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN

SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

GENERAL FRAMING

- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UN O
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. B.F. WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD. MINIMUM
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.. ● BUILT-UP POSTS SHALL BE 2x4 OR 2x6 DOUGLAS FIR (DF) "STUD"

GRADE LUMBER, OR BETTER, U.N.O. & SOLID WOOD COLUMNS SHALL

BE HEM FIR (HF) #2 GRADE LUMBER, OR BETTER, U.N.O.

- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUGLAS FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15). ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS, ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN.), TYP. U.N.O.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING: LSL MEMBERS - Fb=2325 PSI; Fv=310 PSI; E=1.55x10^6 PSI • LVL MEMBERS - Fb=2600 PSI; Fv=285 PSI; E=2.0x10^6 PSI GLB MEMBERS - Fb(+)=2400 PSI; Fb(-)=1850 PSI; Fv=265 PSI; E=I.8xI0^6 PSI; DF/DF; 24F-V4 (U.N.O)
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: LVL MEMBERS - Fb=2400 PSI; FcII=2500 PSI; E=1.8xI0^6 PSI
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF 3"x0.131" NAILS (MIN.) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF
- NAILS FOR 2x6 \$ 2x8 MEMBERS. • ALL MEMBERS SPECIFIED AS MULTI-PLY 13/4" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID
- MATERIAL MAY BE USED AS EQUAL. ● FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS w/P.A.F.s ('HILTI' X-U PINS OR EQUAL (0.157" DIA. x 2" LONG MIN.)) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C., STAGGERED.

• REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL

CONNECTIONS, TYP. U.N.O.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/MARBLE OR WET BED
- CONSTRUCTED FLOORS CONTACT M&K FOR EXCLUDED DESIGNS). ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (U.N.O. ON PLANS): SINGLE PLY: SIMPSON LUS210 DOUBLES: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND $2\frac{1}{2}$ " x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- APPROPRIATE FOR MEMBER SIZE. U.N.O. ● FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1½" LONG NAILS.

• ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER

ROOF FRAMING

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (3) 3"x0.131" TOENAILS (MIN.) & (I) 'SIMPSON' H2.5T CLIP @ ALL BEARING POINTS. PROVIDE (2) 'SIMPSON' H2.5T CLIPS AT 2-PLY GIRDER TRUSSES \$ 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (I) 'SIMPSON' H2.5T CLIP. PROVIDE (2) 'SIMPSON' H2.5T CLIPS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS w/ 2 ½" x 0.131" NAILS @ 6"o.c. AT PANEL EDGES ₺ @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLE AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC. • ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS
- MANUFACTURER, UNLESS OTHERWISE NOTED. • ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO
- FABRICATION OR DELIVERY. • ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW w/ (2) 3"x0.131" TOENAILS AT EA. TRUSS. • SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB.)
- w/2x6 LEDGER FASTENED TO FRAMING w/(3) 3"x0.131" NAILS @ 16" o • FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS



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M&K project number: 203-2201

NJM drawn by: 05-04-22 REVISIONS:

initial: 04/28/2023 LGH RCH REVISIONS PLAN REVIEW COMMENT LGH PIPE PILE REVISION

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LEGEND

- [] INTERIOR BEARING WALL
- 🗆 == = = BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- --- BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/3" o.c. EDGE NAILING
- ::: INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- ★ INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.
- • INDICATES PIPE PILE

PILE STRUCTURAL NOTES

GRADE BEAM ON PIPE PILINGS:

- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).
- PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILINGS REQUIRED TO REACH DESIGN
- LOAD CAPACITY IN ACCORDANCE WITH ASTM DI143-81. - 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES
- PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.
- PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS
- GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PIN PILE INSTALLATION & LOAD TEST.



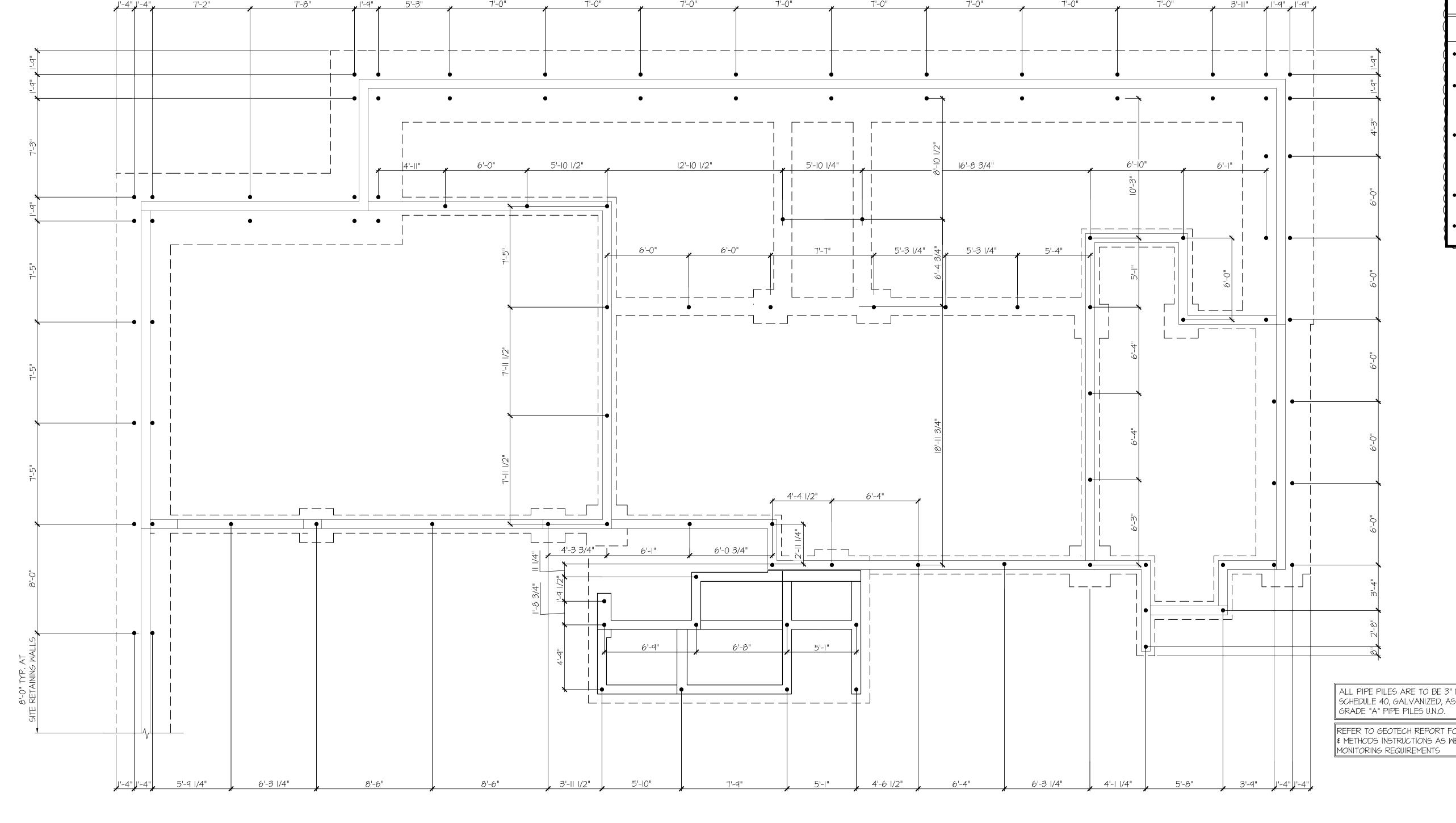
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M&K project number: 203-22010

MLN 05-04-22

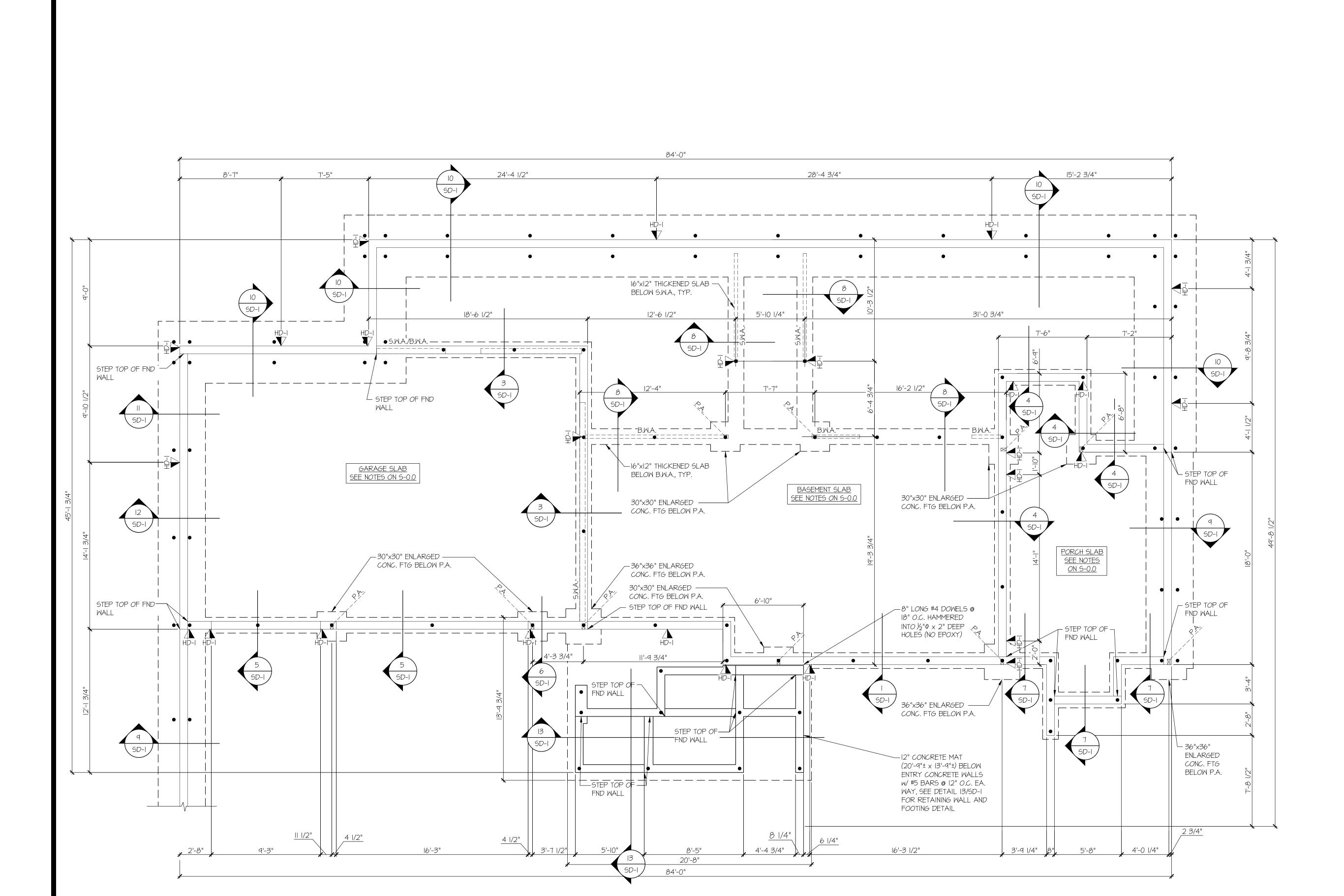
REVISIONS: LGH ARCH REVISIONS 06/21/2023 PLAN REVIEW COMMENTS 10/05/2023 PIPE PILE REVISION



ALL PIPE PILES ARE TO BE 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53

REFER TO GEOTECH REPORT FOR MEANS & METHODS INSTRUCTIONS AS WELL AS

SCALE: 1/4"=1'-0"



REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

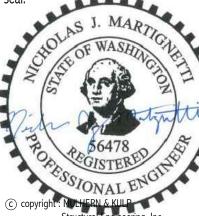
LEGEND

- IIIIII INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.
- INDICATES PIPE PILE

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SYMBOL	SPECIFICATION
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
IID 7	SIMPSON MSTC66 STRAP TIE

(CENTER STRAP ON FLOOR SYSTEM U.N.O.)



ENGINEERING KILLS
STONAL ENGINEERING
STONAL ENGINEE

RESIDENTIAL STRUCTURAL ENGINEE
7220 Trade Street, Suite 295, San Diego, CA

M&K project number: 203-22010

project mgr: NJM
drawn by: LGH
issue date: 05-04-22

CHITECTURAL

E. SE Washington

OUNDATION PLAN
O36 67TH AVE. SE

sheet:

S-1.0





LEGEND

- IIIIIII INTERIOR BEARING WALL
- 🗆 == = = BEARING WALL ABOVE (B.W.A.), OR SHEARWALL
- ABOVE (S.W.A.) • BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/3" o.c. EDGE NAILING
- INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.
- $\nearrow \checkmark \\$ • INDICATES PIPE PILE

	Ħ	OLD-DOWN SCHEDULE
	SYMBOL	SPECIFICATION
	HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
	HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
	HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
	HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) B28

<u>© STEEL BEAMS: PROVIDE SOLID</u> 2x/LVL WEB PACKOUT FASTENED |TO WEB w/½" DIA. THRU BOLTS @|| 24"o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED W/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @

SIMPSON

4xI2 END

DECK JOIST

HUC412 HGR

- AT EA. END

HHUS5.50/10 HGR

-UPSIDE DOWN SIMPSON

SIMPSON CCQ765DS2.5

POST CAP & ABBW66Z

-PROVIDE SIMPSON

LUS28 HGR, TYP.

AT DECK JOISTS

HGUS6.88/12 HGR

—6х6 Р.Т. РОST w/

POST BASE

— STEP TOP OF

FND WALL

NOTE #I:PROVIDE 1/6" (SEE NOTES ON S-0.0)

16" O.C. STAGGERED, OR 1/5" DIA.

BOLTS @ 48" O.C., STAGGERED.

TOP OF WALL. HD-I AT BASE OF

NOTE #4:HD-5 FROM ABOVE. WRAP END LENGTH AROUND

TOP OF WALL. HD-I AT BASE OF WALL TO FOUNDATION BELOW.

NOTE #6:HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.

|| NOTE #7: FASTEN END STUDS TO FND WALL W/1/4" Px6" SIMPSON TITEN HD's @ 24" O.C.

NOTE #8:PROVIDE 2xI2 P.T. |LEDGER w/ (3) 1/4"Φx31/2" SIMPSON ||SDS SCREWS @ 16" O.C. TO RIM &| (2)/4"4x6" SIMPSON TITEN HD's @ 24" O.C. TO FND WALL

NOTE #9:2x6 B.F. H.F. #2 STUDS @ 16" O.C.

NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2)3"x0.131" NAILS

NOTE #11:PROVIDE 1/6"
OSB/PLYWOOD SHEATHING AND FASTEN 6" O.C. EDGE NAILING (SEE NOTES ON S-0.0)

NOTE #12:PROVIDE SIMPSON H8 HURRICANE TIE FROM FLUSH TOP BEAM TO SEMI-DROPPED BEAM

SYMBOL	SPECIFICATION
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
	SIMPSON MSTC66 STRAP TIE

OSB/PLYWOOD SHEATHING AND FASTEN 3" O.C. EDGE NAILING

NOTE #2:HD-5 FROM ABOVE TO WALL TO FOUNDATION BELOW.

NOTE #3:HD-I AT BASE OF WALL TO FOUNDATION BELOW.

BEAM/G.T. AS REQ. NOTE #5:HD-6 FROM ABOVE TO and the

C

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M&K project number: 203-2201

NJMdrawn by: 05-04-22

REVISIONS: 04/28/2023 LGH ARCH REVISIONS 06/21/2023 PLAN REVIEW COMMENT PIPE PILE REVISION

INNOV

RAMING

AIN

MAIN FLOOR FRAMING PLAN SCALE: 1/4"=1'-0"

- SIMPSON HWP7.12

- SIMPSON HGUT.25-SDS

HGR (H=II")

- OMIT TOP PLATE

SEMI-DROPPED BM

SEE NOTE #2

B36 3½"x12" GLB FLUSH

B35 4x10 HDR

SIMPSON HUCGIO HGR

 $+2x12 LEDGER w/(3) \frac{1}{4} e^{x3\frac{1}{2}}$

O.C. TO TRUSS RIBBON

FLOOR TRUSS DEPTH

SIMPSON SDS SCREWS @ 16"

PACK-UP AS REQ. TO FULL

NOTCH TOP PLATE AS REQ.

SIMPSON HUC412 —

HGR

FOR HDR INSTALLATION -

AT EA. END OF

/-SEE NOTE #3 ---

PACK-UP AS REQ. TO FULL

LOOR TRUSS DEPTH

EĖ NOTĖ #II (SW #BO2)-

SIMPSON H8 HUIRRICANE

2xI2 LEDGER w/ (3) ¼"Φx3½"

B39-63/4"x15 GLB FLUSH TOP CANT'D

SIMPSON HUC412 -

HGR AT EA. END

B36 3½"x12" GLB FLUSH

SIMPSON HGUS6.88/10 HGR

—SEE D/SD-4 FOR TYP."

TYP. AT EA. END

STEEL TO WOOD CONN.,

TO STL BM PACKOUT

SEE NOTE #3=

2xl2 DECK JOISTS @ 16" O.C. | | | | | | | | |

SIMPSON SDS SCREWS @ 12" O.C.

TIE FROM SIDE OF

FLUSH BM TO POST

SEE NOTE #II

✓ SEE NOTE #3

SEE NOTE #4

(SW #B01)

HGR (H=16")

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AT P.A.: 0.6k

-ADD'L TRUSS

AT P.A.: 2.0k

UNIFORM LOAD

B34 3½"x18" GLB

SEMI-DROPPED

CHORD BEAR AT

FLOOR TRUSSES TO TO!

SEM-DROPPED BEAM

- SIMPSON HU410 HGR

SEE NOTE #10

- SIMPSON HU410

HGR AT EA. END

- SIMPSON HU410 '

_____ SW #B04

_SEE NOTE #9

HGR AT EA. END

-3½"x16" LVL FLUSH

- SIMPSON HU410 HGR

- FLOOR TRUSSES TO TOP CHORD

BEAR OR HANG AS REQ. AT

FLUSH BTM. BEAM, TYP.

FROM B.W.A.:

645 PLF D

343 PLF 5

587 PLD L

-SEE NOTE #7

OFFSET DRAG TRUSS (DESIGN FOR 400 PLF)

BA3.56/18 HGR — HD-1

SEE NOTE #7

SIMPSON

| 13/4"×16" LVL FLUSH

BELOW S.W.A.

SEE NOTE #1-

POINT LOAD

FROM HD-5

SEE NOTE #4-

AT P.A.: 2.9k

OPEN TO

ABOVE

____3½"x16" LVLFLUSH ____B25____OR FLR G.T.

4x10 FLUSH BTM/

OR FLR G.T.

ADD'L TRUSS-

ABOVE:

3.2k E

_4.6k W-

(SW #B06)

SD-I

-SIMPSON

BA3.56/18

- POINT LOAD

-SEE NOTE #4

POINT LOAD

FROM HD-5

└─ SEE NOTE #3 `|||

NOTCH B22

CANTILEVER

TO 9¼" DEPTH AT

ABOVE:

2.lk E

1.4k W

1.3k D

0.6k S

1.5k E

FROM ABOVE:

16" FLOOR TRUSSES

@ 19.2" O.C., TYP. U.N.O.

3½"x12" GLB CONT. HDR

FULL LENGTH OF P.F.

APA PORTAL FRAME

SEE DTL I/SD-4

STEP TOP OF FND

POINT LOAD FROM -

POINT LOAD FROM -

HD-5 ABOVE:

SEE NOTE #4-

@ 24" *O.*C.

MALL

ROOF TRUSSES -

STEP TOP OF FND-

SEE NOTE #3 —

SEE NOTE #4 -

ABOVE:

0.44k D

0.65k S

2.0k E

3.0k W

MALL

ADD'L TRUSS AT

SEE NOTE #II—

YUNIFORM LOAD

(SW #B00)

FROM B.W.A.:

645 PLF D

343 PLF 5

587 PLD L

(SW #B05)

SEE NOTE #5

END DRAG TRUSS -

SEE NOTE #1 ———

(DESIGN FOR 400 PLF)

54"x 94" LVL FLUSH -

TOP (CANT'D) AT HD

|SEE NOTE #12-

5/2"x18" GLB SEMI-DROPPED_

SEE NOTE #3 -

SEE NOTE #6 -

NAILS MIN.

SEE NOTE #4

B45 2x10 CANT'D JOIST

BACKSPAN) FASTEN TO

DIAGONAL w/ (3)3"x0.131"

EA. TRUSS VERTICAL AND

w/ SIMPSON LUS28 HGR AT

EA. END, SEE NOTE #8

2x12 FLOOR JOIST @ 16" O.C. ——

∅ 19.2" O.C. (6'-0" MIN.

P.A.: 2.2k



and the

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M&K project number:

drawn by:

REVISIONS:

04/28/2023

06/21/2023

PLAN REVIEW COMMENT

PIPE PILE REVISION

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INNOV.

ARCH REVISIONS

203-2201

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LGH

05-04-22

LEGEND

- IIIIII INTERIOR BEARING WALL
- 🗆 == = = BEARING WALL ABOVE (B.M.A.), OR SHEARWALL
- ABOVE (S.W.A.) • BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/3" o.c. EDGE NAILING
- :: INDICATES AREA OF ROOF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.

⊭	OLD-DOWN SCHEDULE
SYMBOL	SPECIFICATION
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

• • INDICATES PIPE PILE		
HOLD-DOWN SCHEDULE		
SYMBOL	SPECIFICATION	
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN	
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)	
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)	
115 1	SIMPSON MSTC66 STRAP TIE	

4xIO HDR @ ALL EXT. OPENINGS | NOTE #6:PROVIDE 2x6 STUDS @

NOTE #2:HD-5 FROM ABOVE TO TOP OF WALL. HD-I AT BASE OF WALL TO FOUNDATION BELOW.

NOTE #3:HD-I AT BASE OF WALL | TO FOUNDATION BELOW.

WALL TO FRAMING BELOW. NOTE #5:HD-5 FROM ABOVE. WRAP END LENGTH AROUND

(TYP. U.N.O.) B30

- HD-I AT BASE OF

-SEE NOTE #2

@ STEEL BEAMS: PROVIDE | SOLID 2x/LVL WEB PACKOUT FASTENED TO WEB W/ ½" DIA. THRU BOLTS @ 24"o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED W/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @ | 16" O.C. STAGGERED, OR ½" DIA. | BOLTS @ 48" O.C., STAGGERED.

NOTE #1:PROVIDE 1/6" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)

> NOTE #9:HD-6 AT BASE OF WALL TO FRAMING BELOW.

NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2)3"x0.131" NAILS

||16" O.C. FROM TOP OF ROOF

SHEATHING TO TOP OF CHIMNEY

 $\|(2)/_4\| \Phi \times 3/_2\|$ SIMPSON SDS

TRUSSES/ BLKG, TYP. AT

CHIMNEY WALLS.

SCREWS @ 6" O.C. TO ROOF

NOTE #7:2x6 LEDGER w/ (3)

||3"x0.|3|" NAILS @ |6" O.C. TO

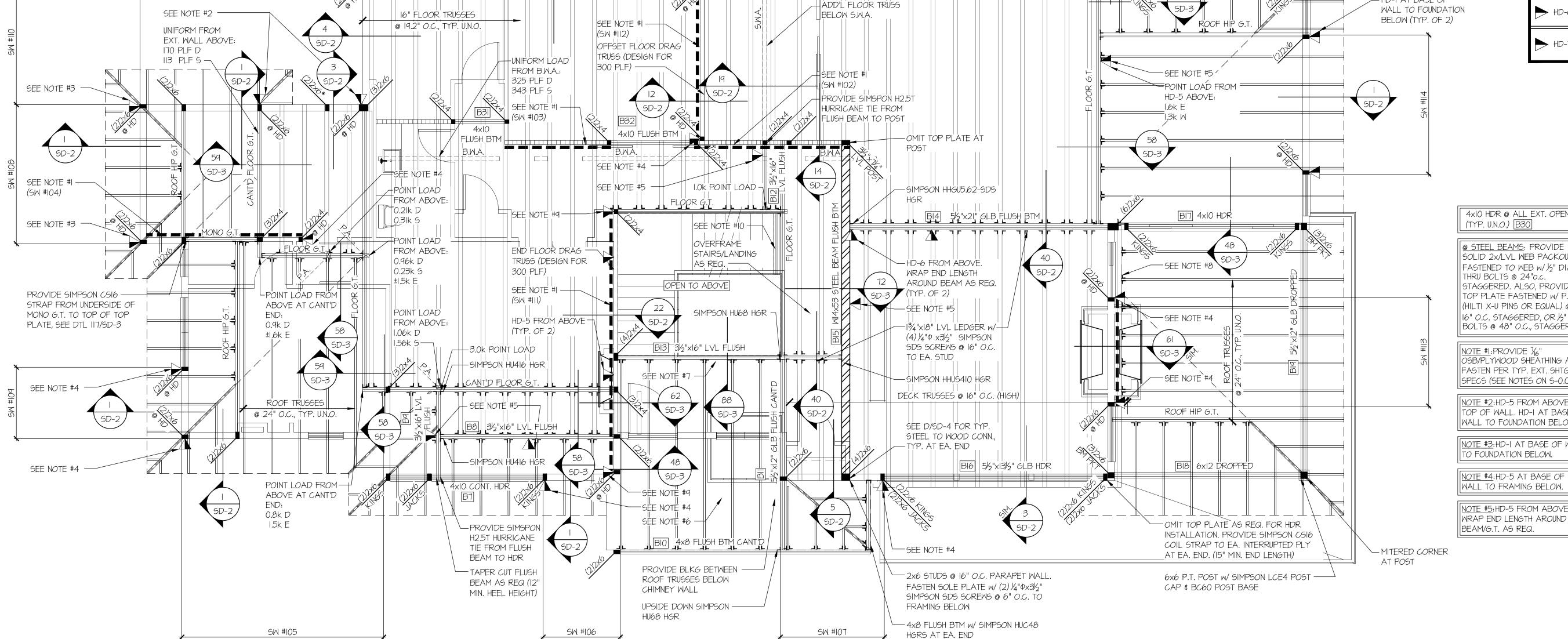
GIRDER TRUSS/FLUSH BEAM

NOTE #8:2x6 LEDGER w/ (4)

||3"x0.|3|" NAILS @ 16" O.C. TO EA. |

FRMG

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SW #100

B41 4×10 HDR

- SEE NOTE #5

UPPER FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

SEE NOTE #3 -

SM #101

SEE NOTE #3 ---

REFER TO S-0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

- IIIIIII INTERIOR BEARING WALL
- 🗆 == = BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- — -- BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/3" o.c. EDGE NAILING
- INDICATES AREA OF ROOF OVERFRAMING
- · JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.
- • INDICATES PIPE PILE

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

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M&K project number:

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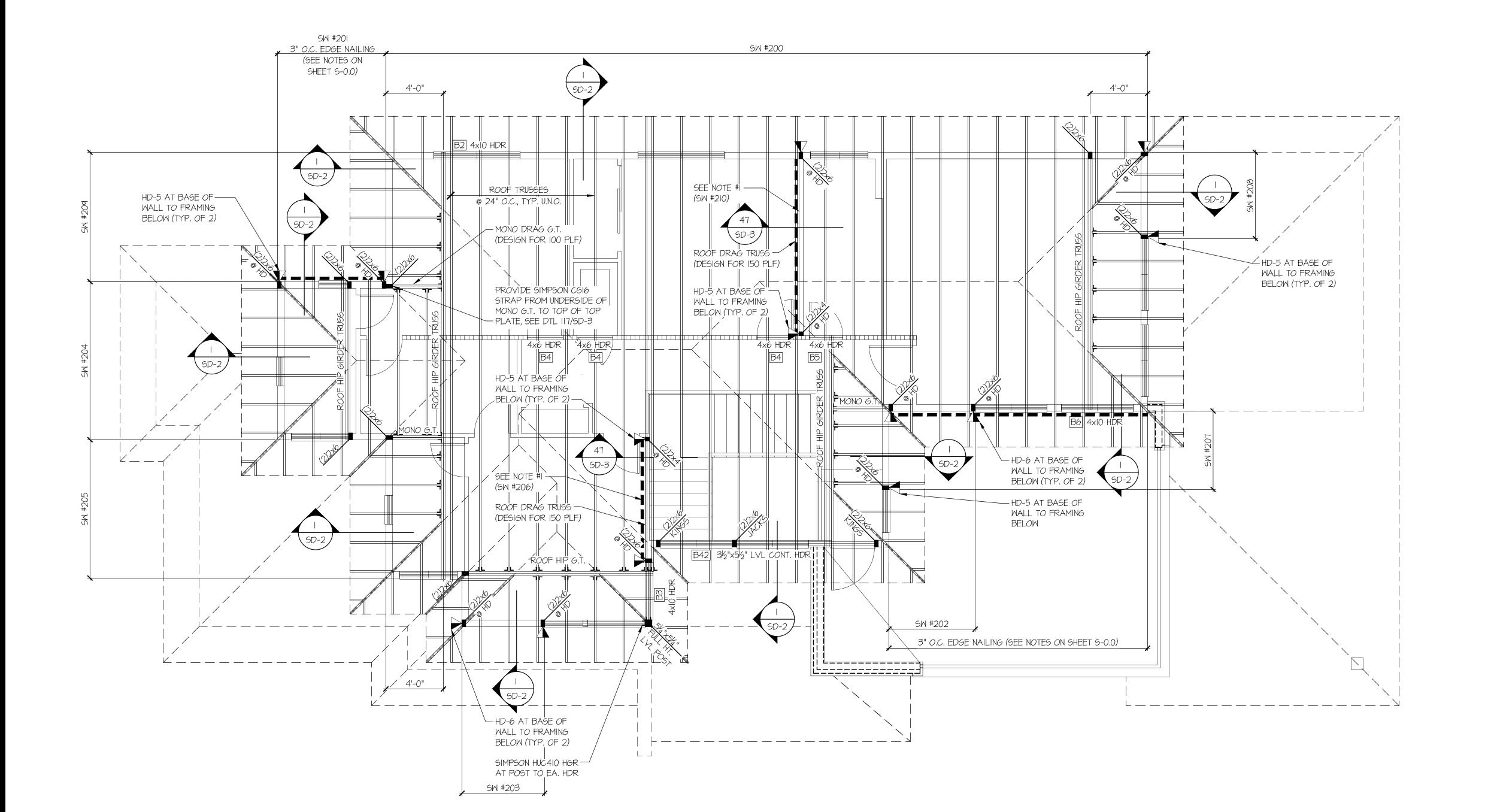
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ARCHITECTURAL INNOVATIONS

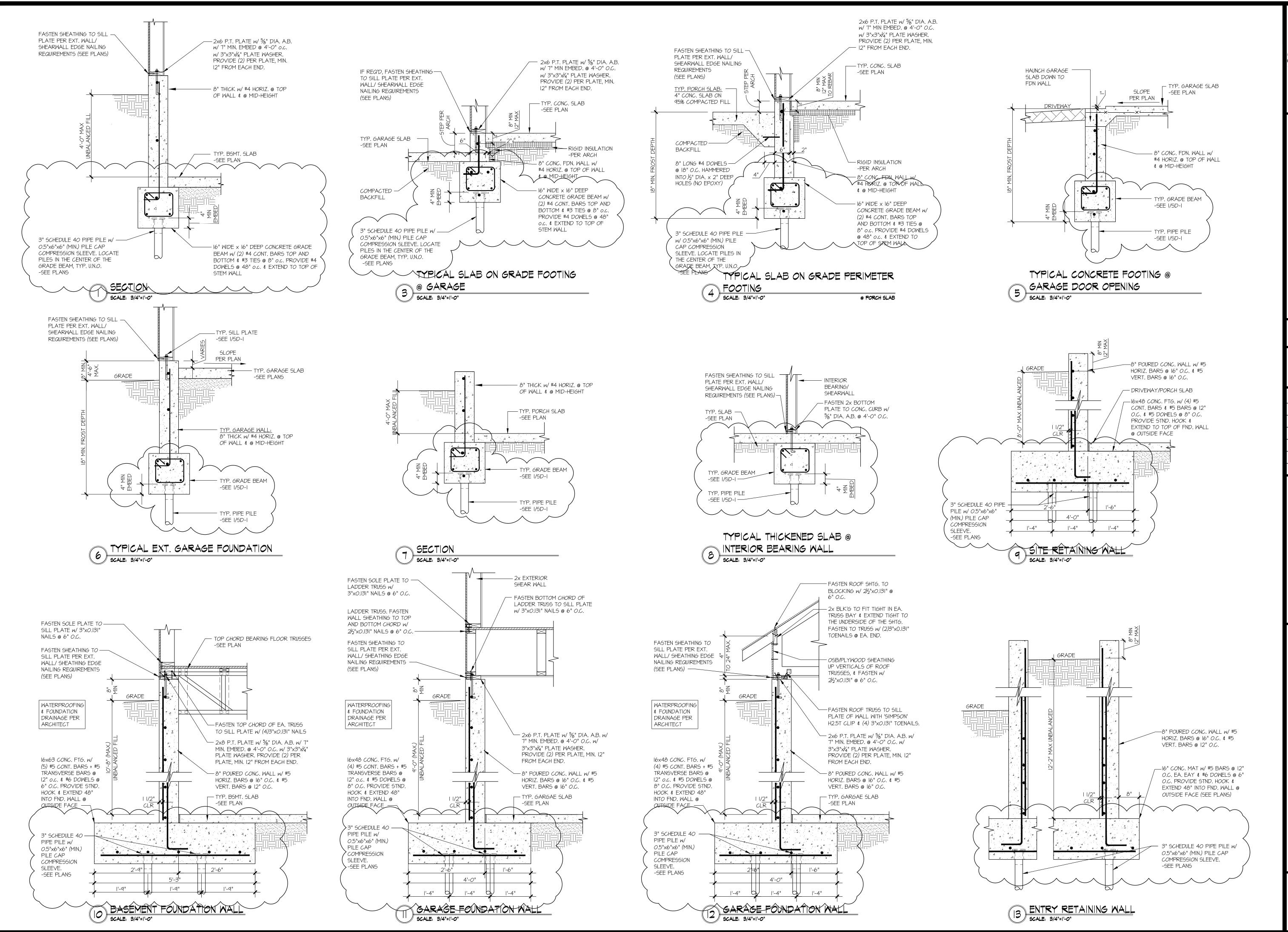
FRAMING PLAN



NOTE #1:PROVIDE 1/6"
OSB/PLYWOOD SHEATHING AND
FASTEN PER TYP. EXT. SHTG
SPECS (SEE NOTES ON S-0.0)

(TYP. U.N.O.) BI

4x10 HDR @ ALL EXT. OPENINGS





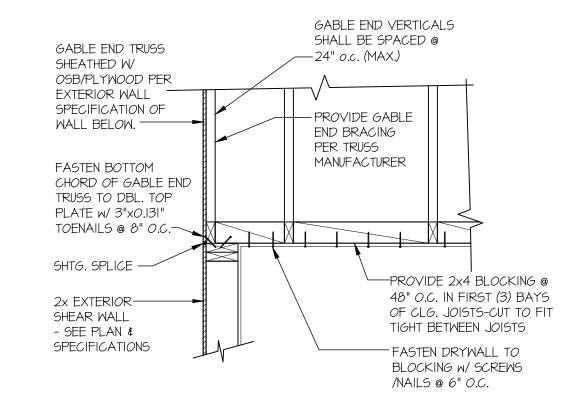
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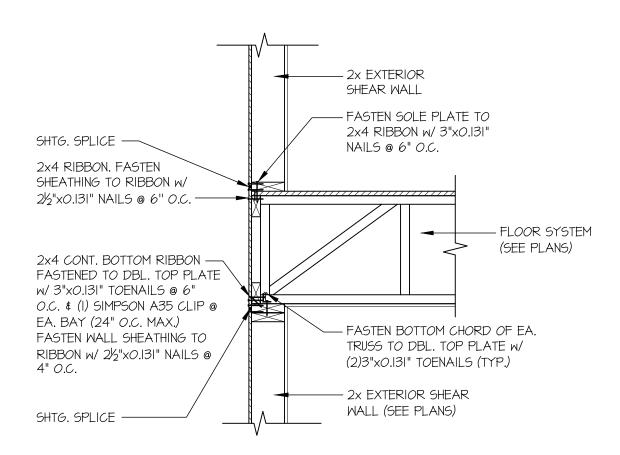
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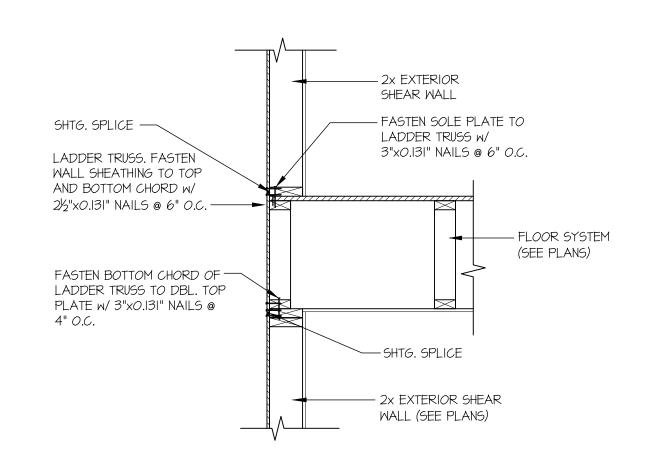
TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS SCALE: 3/4"=1'-0" HEEL HEIGHT UP TO 24" MAX.



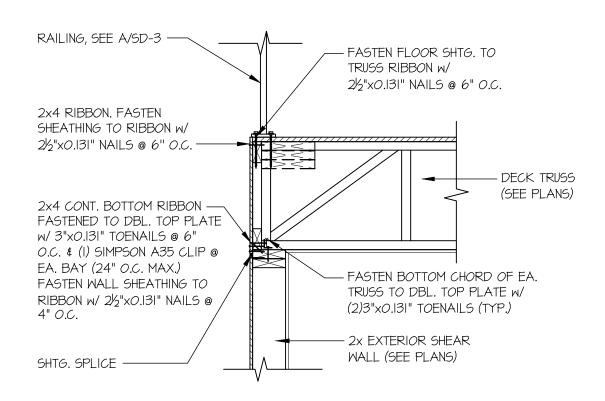




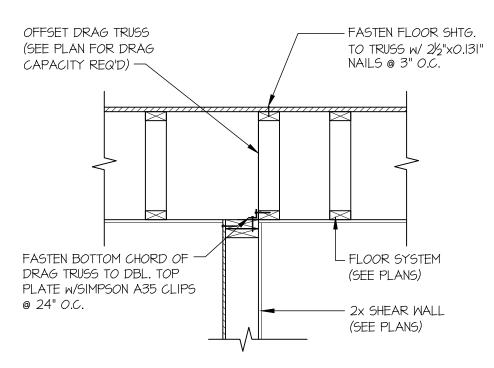
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL SCALE: 3/4"=1'-0"



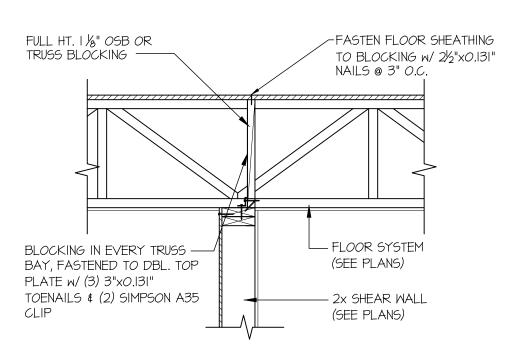
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL SCALE: 3/4"=1'-0"



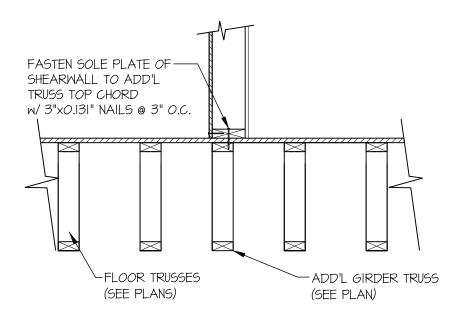
TYPICAL SHEAR TRANSFER DETAIL 5 BETWEEN DECK @ EXTERIOR WALL



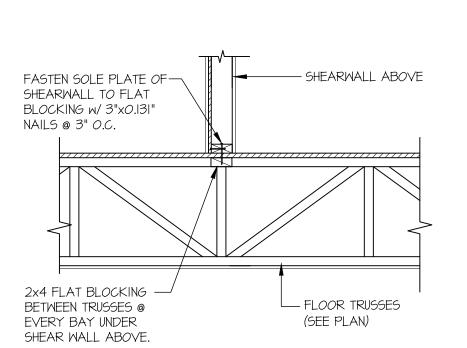
SHEAR TRANSFER DETAIL @ SHEAR WALL BELOW SCALE: 3/4"=1'-0"



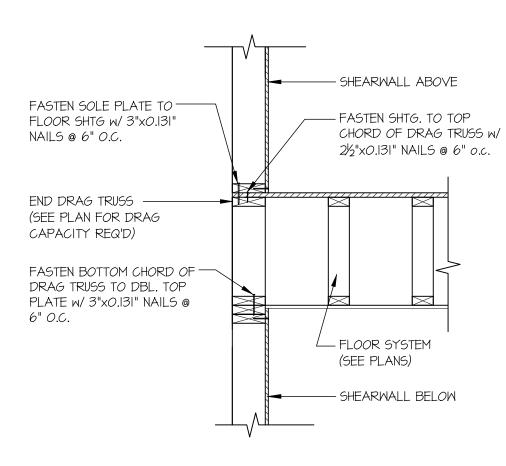
SHEAR TRANSFER DETAIL @ SHEAR WALL BELOW SCALE: 3/4"=1'-0"



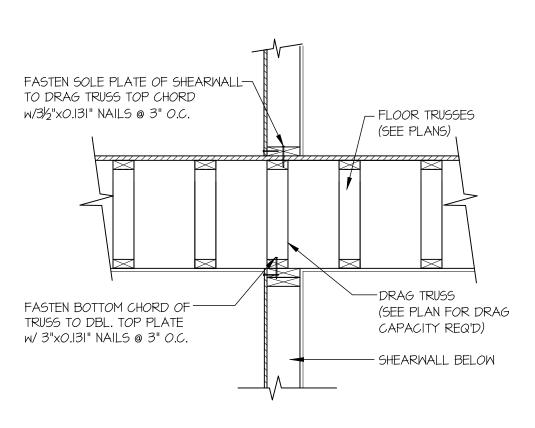




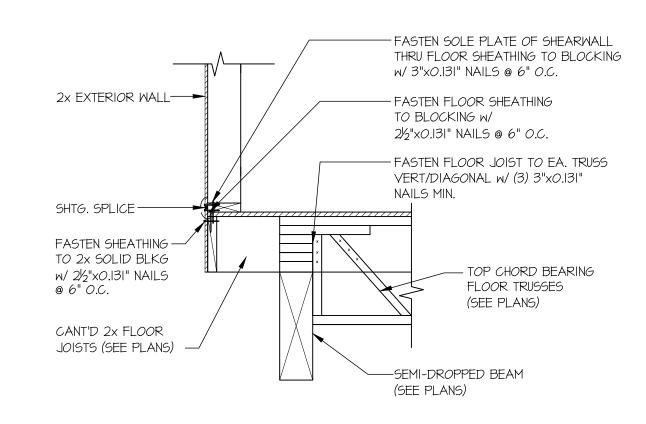




TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL SCALE: 3/4"=1'-0"

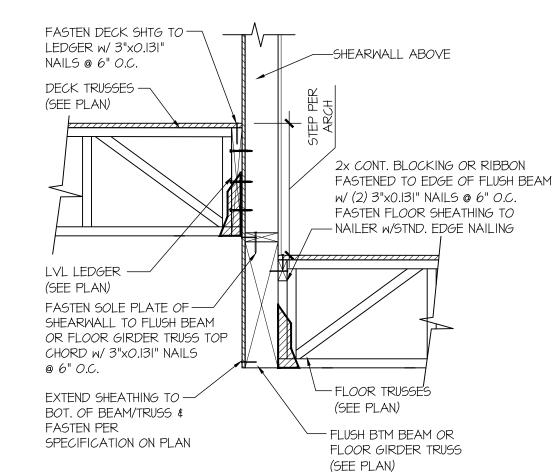


SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL SCALE: 3/4"=1'-0"



SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL

SCALE: 3/4"=1'-0"



SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE SCALE: 3/4"=1'-0"

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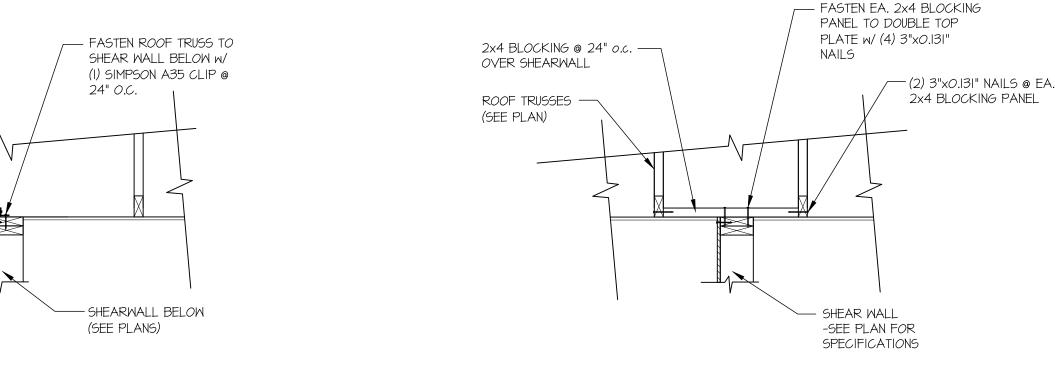
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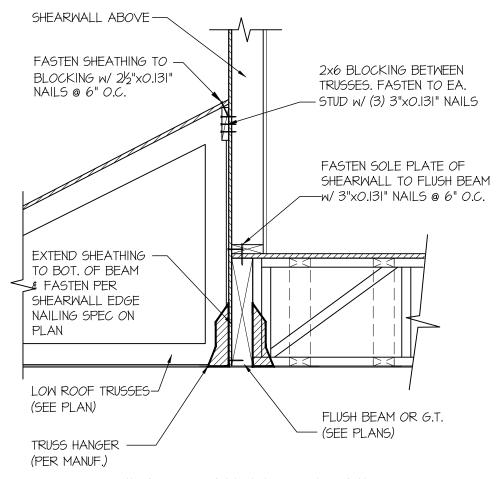
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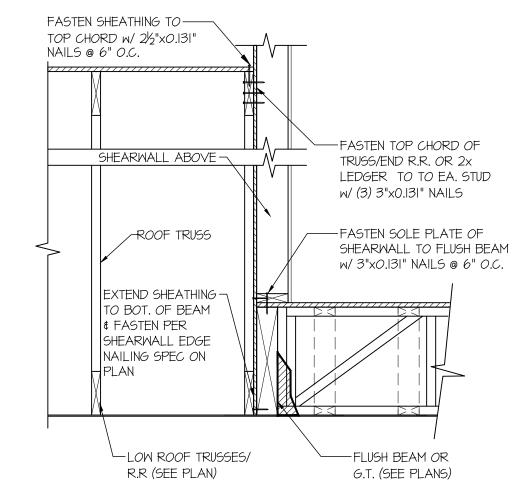
SHEAR TRANSFER DETAIL @ INTERIOR SHEARMALL BELOW SCALE: 3/4"=1'-0"



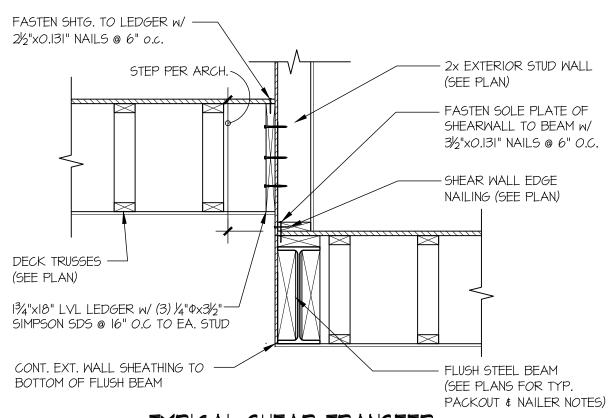




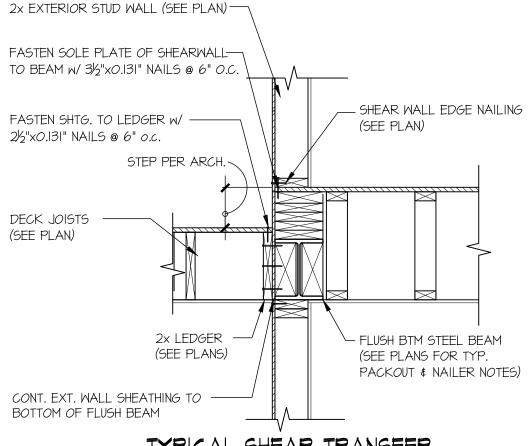
SHEAR TRANSFER DETAIL @ EXTERIOR SHEARMALL ABOVE SCALE: 3/4"=1'-0"



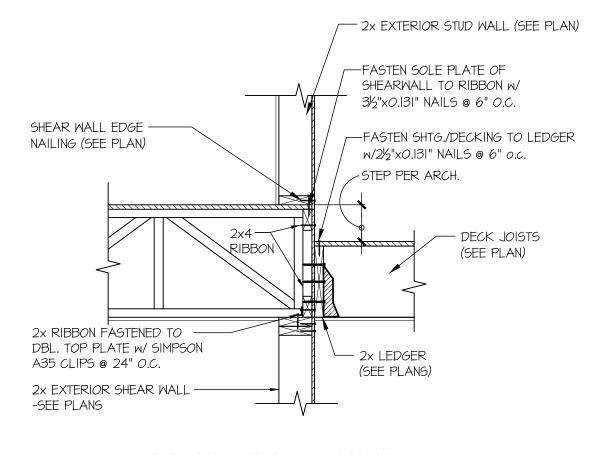
SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE SCALE: 3/4"=1'-0"



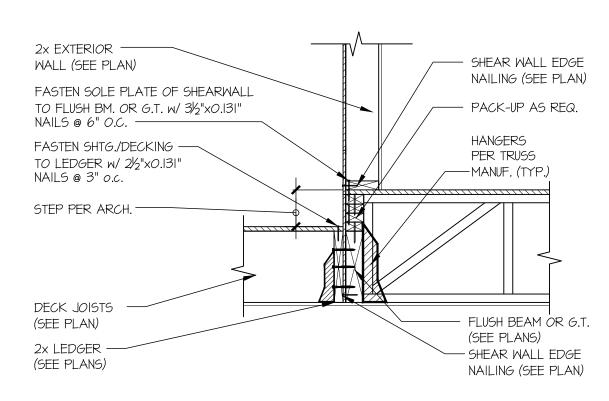
TYPICAL SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING SCALE: 3/4"=1'-0"



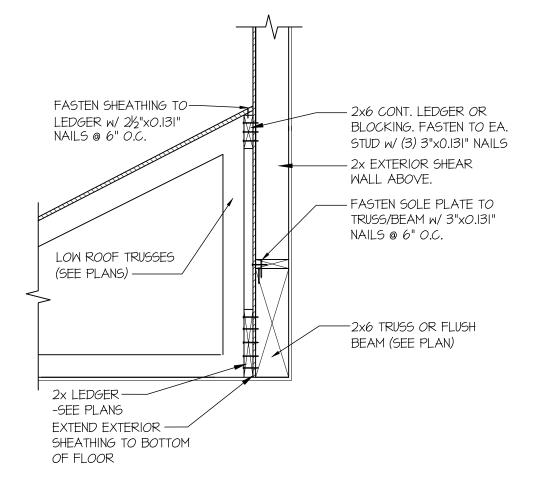
TYPICAL SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"

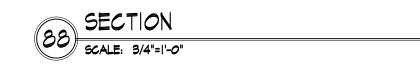


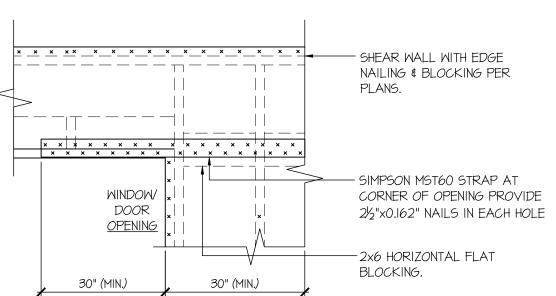
TYPICAL SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING SCALE: 3/4"=1'-0"



SHEAR TRANSFER DETAIL @ EXT. DECK FRAMING
SCALE: 3/4"=1'-0"

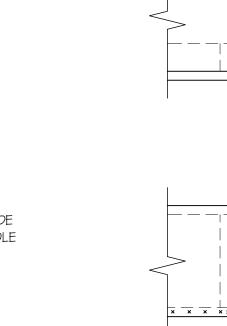






- DETAIL SIMILAR AT BOTTOM CORNERS OF WINDOWS. ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

EXT. WALL & INT. SHEARWALL 92 OPENING ELEVATION SCALE: NTS



(44" MIN LENGTH) MINDOM -2×4 HORIZONTAL FLAT <u>OPENING</u> BLOCKING. 14" (MIN.) 30" (MIN.) ₁ - INSTALL FIRST 2 BAYS - SIMPSON CSI6 STRAP AT CORNER OF OPENING PROVIDE 2½"x0.131" NAILS IN EACH HOLE (44" MIN LENGTH) -2x4 HORIZONTAL FLAT BLOCKING. - INSTALL FIRST 2 BAYS

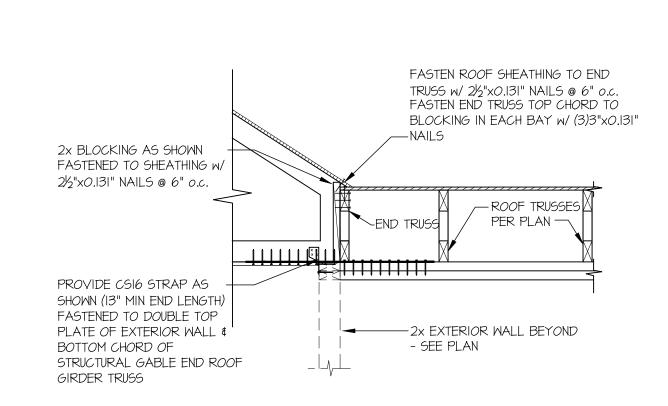
 ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

SHEAR WALL WITH EDGE NAILING & BLOCKING PER

SIMPSON CSI6 STRAP AT CORNER OF OPENING PROVIDE 21/2"x0.131" NAILS IN EACH HOLE

PLAN.

EXT. WALL & INT. SHEARWALL



STRAP DETAIL SCALE: 3/4"=1'-0"

94 OPENING ELEVATION SCALE: NTS

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10/05/2023 PIPE PILE REVISION

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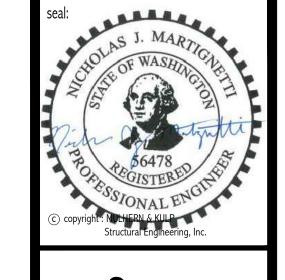
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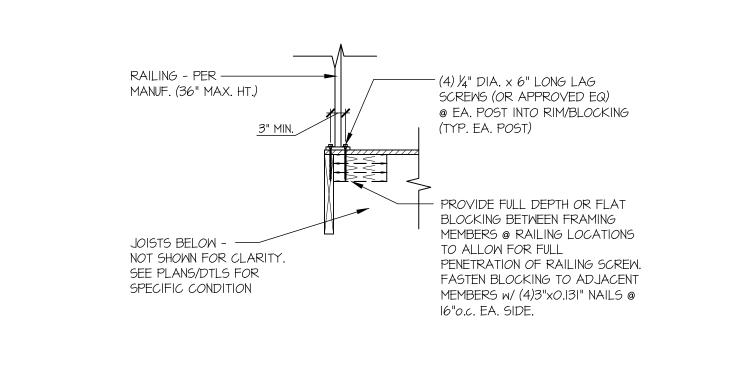


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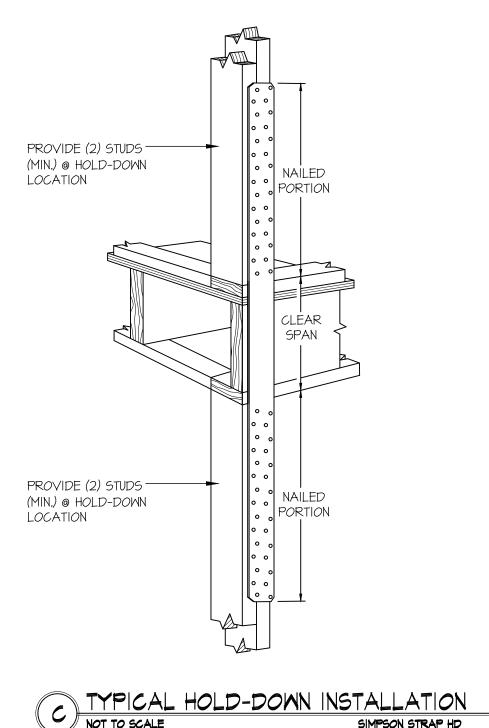
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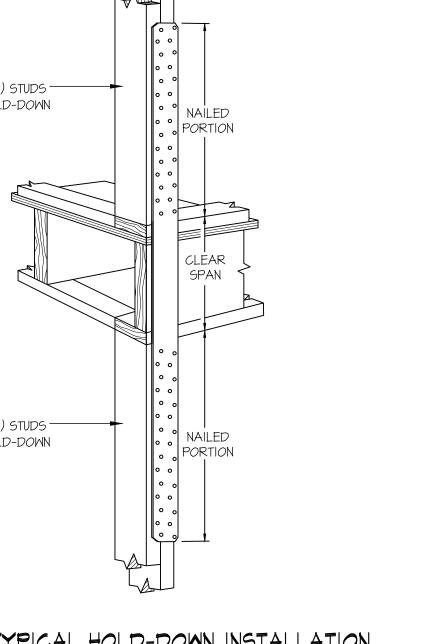
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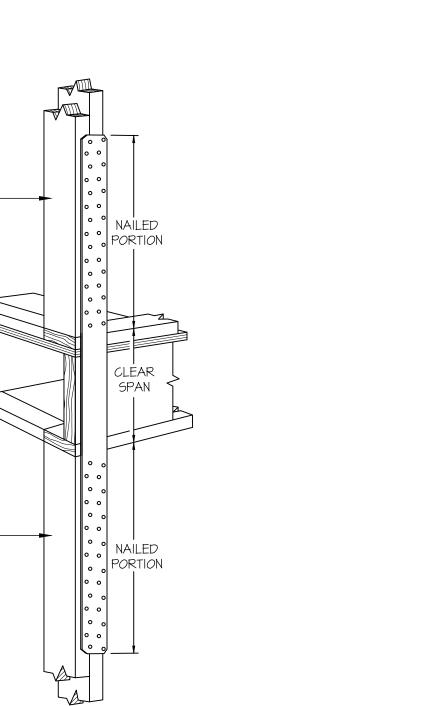














PLAN X-X SCALE: 3/4"=1'-0"

PROVIDE (2) STUDS — (MIN.) @ HOLD-DOWN

2x EMBEDMENT LENGTH +12" REBAR LENGTH WRAP BARS AROUND CORNER IF REQUIRED \

EDGE INSTALLATION

SIMPSON STHD HD

@ FOUNDATION

- STEEL BM w/ 2x PLATE

- WOOD FRAMING BELOW

/ STEEL BM w/ 2x PLATE - SEE PLANS

- FASTEN BOT FLANGE TO WOOD

FRMG BELOW w/ (4) 1/4" DIA. x

21/2" LONG SIMPSON SDS SCREWS (2 EA. SIDE OF WEB)

- WOOD FRAMING BELOW

- SEE PLANS

FASTEN BOT FLANGE TO WOOD

FRMG BELOW w/ (4) 1/4" DIA. x 2½" LONG SIMPSON SDS SCREWS (2 EA. SIDE OF WEB)

- SEE PLANS

- SEE PLANS

LOCATION

-ONE #4 BAR IN

MIN. REBAR

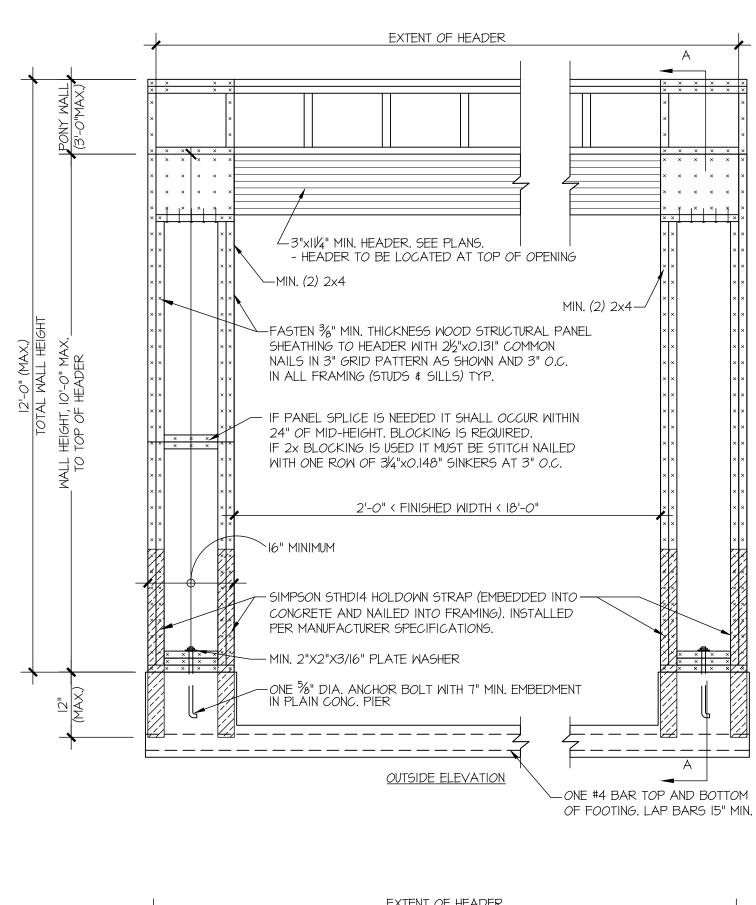
CORNER INSTALLATION

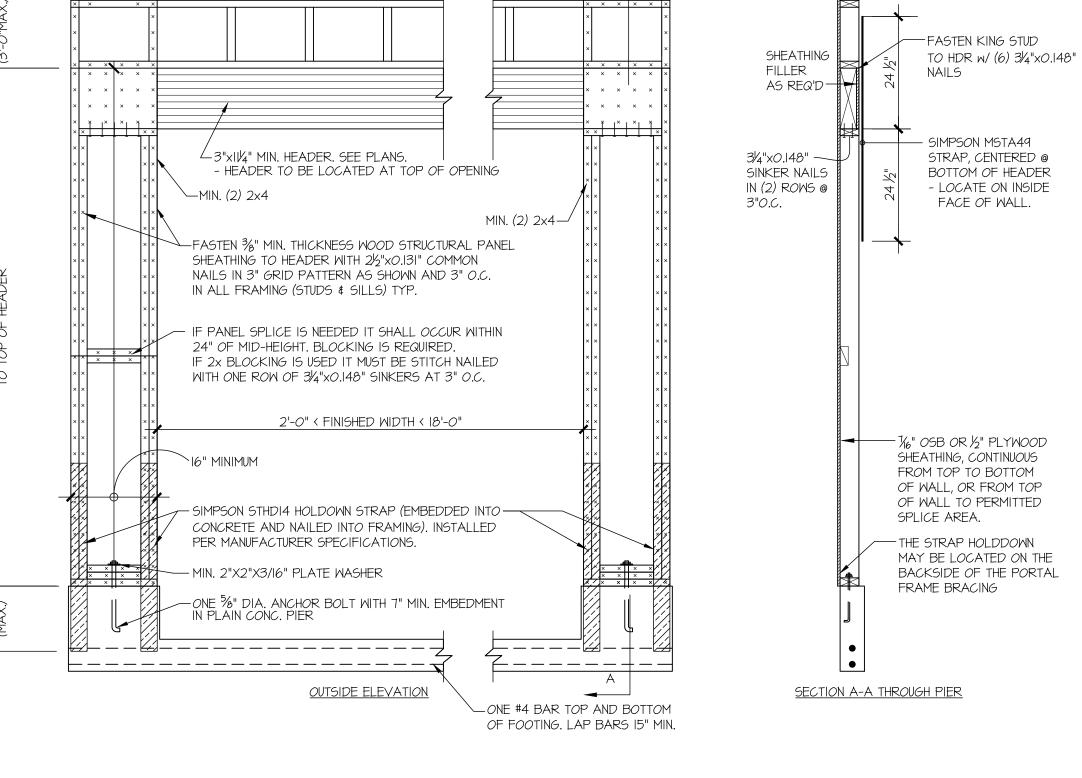
NOT TO SCALE

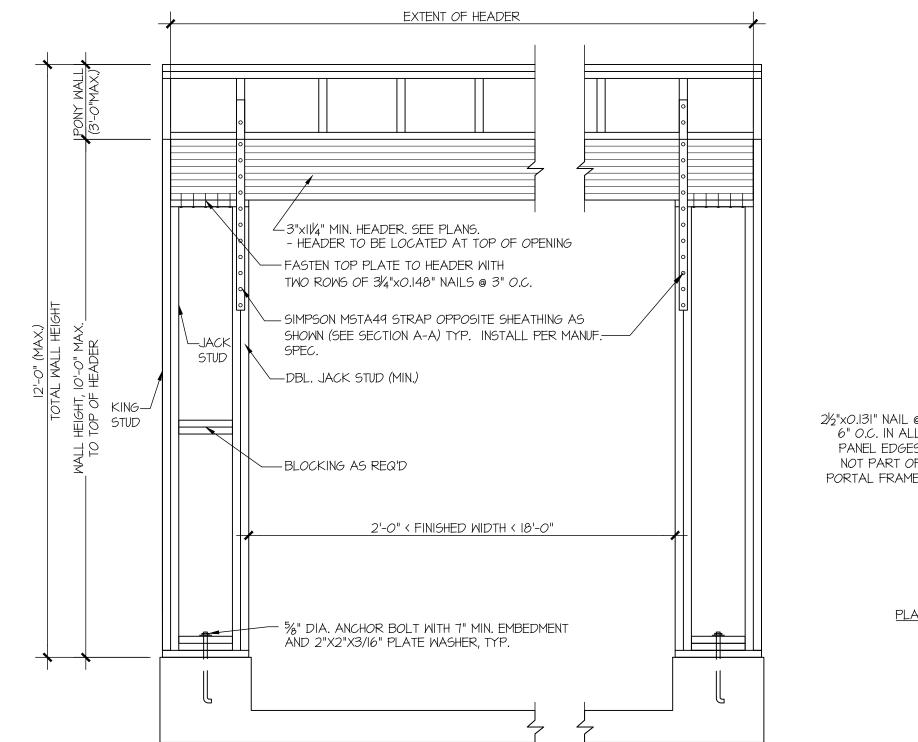
REBAR

SHEAR CONE (12"

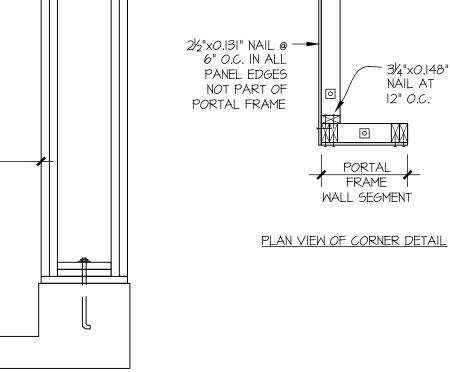
B TYPICAL HOLD-DOWN INSTALLATION







INSIDE ELEVATION



APA PORTAL FRAME DETAIL MITH HOLDOMNS

SCALE: N.T.S.